

**DOCUMENT 00 90 00  
ADDENDUM**

**ADDENDUM NO. [2]                      Date: January 19, 2018**  
**RE:                      ABBOTSFORD SCHOOL DISTRICT**  
**ELEMENTARY & MIDDLE SCHOOL ADDITION**  
**510 HEMLOCK STREET**  
**ABBOTSFORD, WISCONSIN 54405**  
**HSR PROJECT NO. 17060**

**FROM:**                      HSR Associates, Inc  
                                 100 Milwaukee Street  
                                 La Crosse, WI 54603  
                                 (608) 784-1830

**To:**                      Prospective Bidders

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated January 2018. Acknowledge receipt of this Addendum in the space provided on the bid form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of [3] pages, Pre-bid attendance and [7] 30 x 42 drawings.

**CHANGES TO BIDDING REQUIREMENTS AND CONDITIONS OF THE CONTRACT:**

1. Pre-bid attendance attached hereto.
2. Section 00 73 00 SUPPLEMENTARY CONDITIONS:
  - a. Article 3, after 3.5 add the following:  
3.6 TAXES

“3.6.2 Wisconsin contractors are exempt from sales tax on materials purchased for this Project. A Wisconsin Sales and Use Tax Exemption Certificate will be included with the Contract. Do not include taxes in bid.”

**GENERAL REQUIREMENTS:**

3. Section 01 10 00 SUMMARY:
  - a. Items Provided by the Owner:
    - i. Speakers
    - ii. Clocks
    - iii. Smart boards
    - iv. Signage
    - v. Security cameras. Coordinate junction box location shown on drawings, with Owner.
    - vi. Access control. Rough-in's in Contract.

**CHANGES TO SPECIFICATIONS:**

4. Section 07 53 00 ELASTOMERIC MEMBRANE ROOFING
  - a. 1.08, B, 1: In last line change “20” to “25”.
  - b. 2.04, A, 1: Change “16 psi” to “25 psi” to meet uplift requirements.

5. Section 09 91 23 INTERIOR PAINTING
  - a. 1.01, C: Add the following to scope: "Paint all new and existing unpainted exposed conduit and piping at existing exposed structure locations. Match ceiling color." Refer to Sheet A002R for extents of new and existing conduit/piping to be painted.
6. Section 23 09 93 CONTROLS
  - a. 2.01, A: Siemen system is required control system to match campus system. Award of installation is not limited to any specific firm.
7. Section 23 21 14 HOT WATER HEATING SYSTEM
  - a. 3.03: The elementary system is water only. The middle school system is glycol. Whatever amount of liquid needs to be added to the system for new equipment shall meet the stated percentage of glycol.
  - b. 3.03, A: Delete Paragraph 2. Testing is not required.
8. Section 28 31 00 FIRE DETECTION AND ALARM
  - a. 1.01, A: Delete paragraphs 1) and 2). There is no work in auditorium or gym.
  - b. 2.03, A: Delete paragraph 2).
  - c. 2.04, B: Delete reference to "gymnasium".
9. Section 31 20 00 EARTH MOVING
  - a. Frost Removal: The installation and operation of frost removal system shall be included in Bid price as determined by each Contractor according to their determined schedule. Correction and backfill materials shall be frost free. Schedule shall meet stated August substantial completion date.

## **CHANGES TO DRAWINGS**

10. Sheet A002R OVERALL BUILDING PLAN 30 x 42 attached hereto
  - a. General Contractor shall be responsible for removal/reinstallation of ceiling panels for required MEP work above ceiling in existing corridors. Remove/reinstall grid only as required to accomplish work.
  - b. Extents of new and existing conduit/piping locations at exposed ceiling to be painted.
11. Sheet C100R LAYOUT PLAN 30 x 42 attached hereto
  - a. Storm sewer revision at west end of addition.
  - b. \_At west end of elementary addition the Owner will remove and replace the existing fence. Any portable playground equipment will be relocated by Owner. The yellow post with red funnel on top off the northwest corner of elementary shall be removed and salvaged to Owner.
12. Sheet C200R GRADING-EROSION CONTROL-UTILITY PLAN 30 x 42 attached hereto
  - a. Storm sewer location and number of catch basins revised to minimize interference and relocation of existing electrical service line. Existing electrical line shall be stabilized/shored in place where storm line crosses.
13. Sheet A100 ELEMENTARY FLOOR PLAN
  - a. 1A100: At west end of Corridor E109; the elevation reference for 6A202 reversed should indicate 5A202 at south side as well.
14. Sheet A101R MIDDLE SCHOOL FLOOR PLAN 30 x 42 attached hereto
  - a. Revisions clouded on plan.

15. Sheet A120 ROOF PLAN
  - a. At Roof System Description, in first line, change “maximum” to “minimum”.
16. Sheet A202R CASEWORK ELEVATIONS 30 x 42 attached hereto
  - a. 5 and 6A202 revised and section of cubbies included. Aluminum tubes shall be at greatest continuous length possible.
17. Sheet ID600 MASTER COLOR SCHEDULE
  - a. At 12 24 13 Roller Shades: The specified color is discontinued. Color to be selected by A/E from manufacturer’s standard line.
18. Sheet S200R ELEMENTARY SCHOOL ROOF FRAMING PLAN 30 x 42 attached hereto
  - a. Joist bearing elevations adjusted.
19. Sheet P100R PLUMBING REMODEL PLAN 30 x 42 attached hereto
  - a. 1P100: At elementary Storage 187, refer to A100 for extents of concrete floor removal for new piping.
  - b. 4P100: Roof drain piping has been redirected to northeast corner of Classroom M101 for connection to existing catch basin directly outside. Refer to C200R attached hereto.
20. Sheet FP100 FIRE PROTECTION
  - a. Extension of fire protection system is required at the elementary addition only. As-builts did not indicate installed pipe sizes. Field confirmation of existing system is required. Contact Mason Rahu for appointment. 715-507-0650.
21. Sheet M100 ELEMENTARY SCHOOL HVAC FLOOR PLAN
  - a. New transfer and return ductwork has duct liner. Insulate supply ductwork as specified in 23 07 13.
22. Sheet M101 MIDDLE SCHOOL HVAC FLOOR PLAN
  - a. At existing west vestibule, the existing recessed wall cabinet heater shall be disconnected and remain in place.
  - b. Vestibule M100: Delete reference to relocated cabinet heater. Install surface mounted Sterling Cabinet Unit Model WI-1110-03, 43”X25” and 9.5” deep, 20 MBH, 2.0 GPM, 1 row, 0.5 FT WPD, High Speed Fan, 335 CFM, 1/15 HP, 120/1 Voltage/Phase, and 2-way temperature control valve.
  - c. Detail 2M101: Change detail title from “Recessed” to “Surface Mounted”.
23. Sheet E101 MIDDLE SCHOOL ELECTRICAL PLAN
  - a. At Panel Board Schedule: Change main amperage for Panel NP from “100” to “225”.
  - b. At Schedule Remark 1, delete last sentence and add the following; “Connect new feeder to existing 150 amp breaker in Panel NLDP4. Delete new 100 amp breaker.”

**END OF DOCUMENT 00 90 00**

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# "SIGN-IN" SHEET

PROJECT: Abbotsford School District

HSR NO.: 17060 DATE: January 18, 2018



PLEASE PRINT ALL INFORMATION CLEARLY

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# "SIGN-IN" SHEET

PROJECT: Abbotsford School District

HSR NO.: 17060 DATE: January 18, 2018



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Consultant:

Project Title: **ABBOTSFORD ELEM./MIDDLE SCHOOL ADDITION**  
**ABBOTSFORD SCHOOL DISTRICT**

Project Location: **510 W HEMLOCK ST.**  
**ABBOTSFORD, WI 54405**

Sheet Title: **OVERALL BUILDING PLAN**

HSR Project Number: **17060**

Project Date: **JAN 2018**

Drawn By: **TBS**

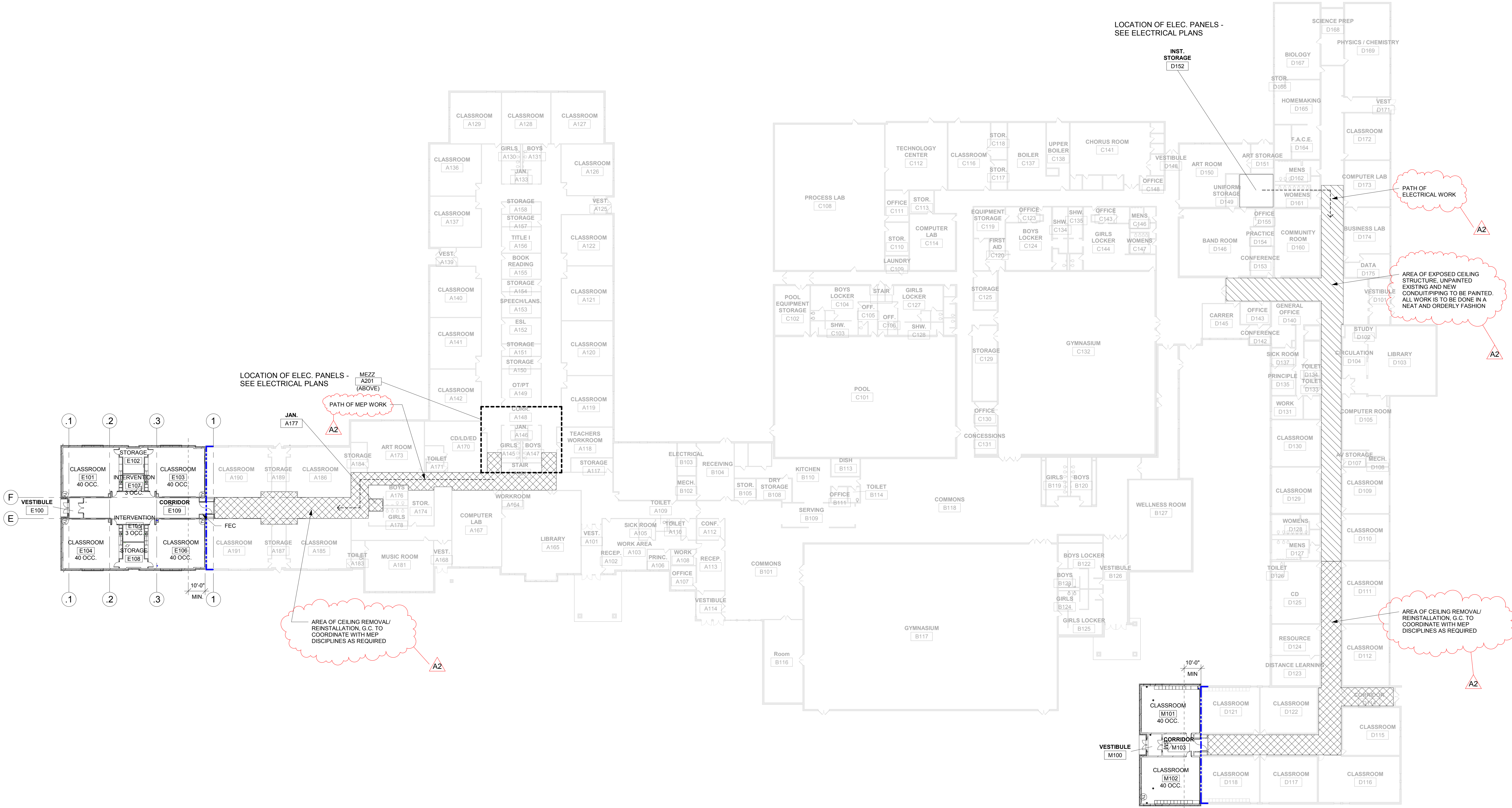
Key Plan:

No.	Description	Date
A2	ADDENDUM #2	1/19/18

Graphic Scale: **VARIES**

Last Update: **1/19/2018 2:33:17 PM**

**A002R**

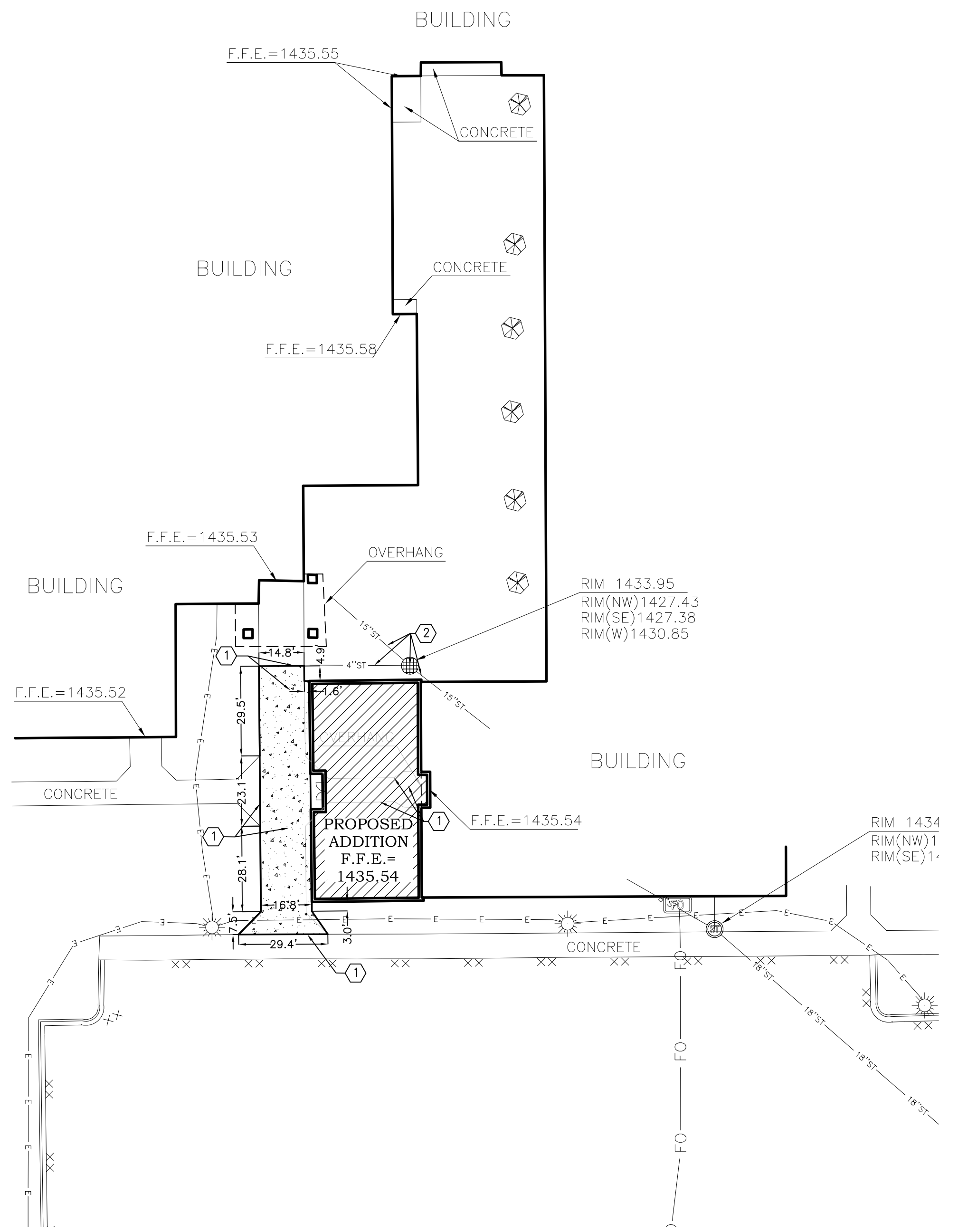
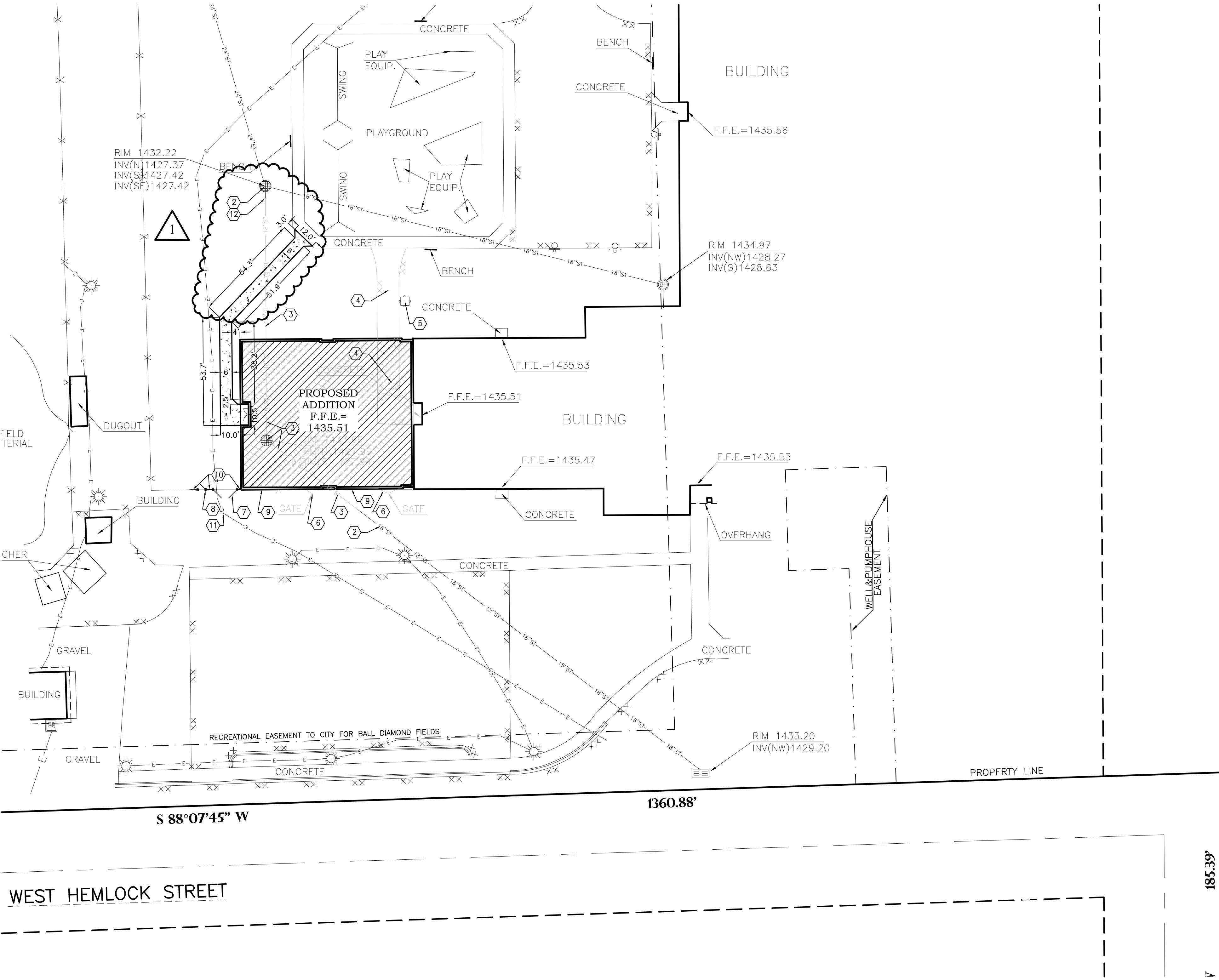


**1 OVERALL BUILDING PLAN**  
1" = 25'-0"



**OVERALL PLAN FOR  
REFERENCE ONLY**

No.	Description	Date
1	Addendum #2	1/18/2018



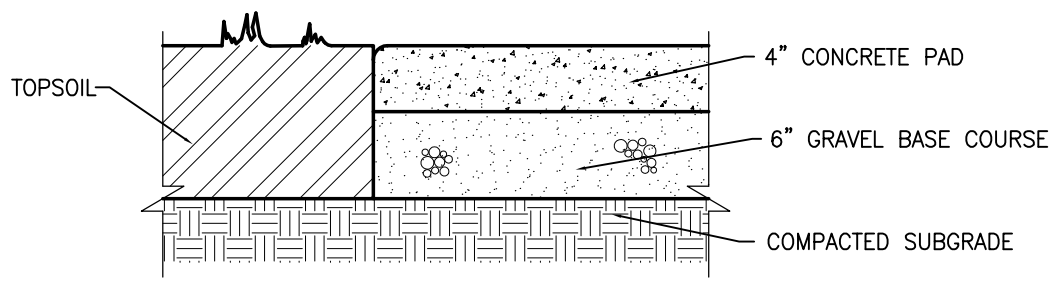
**GENERAL NOTES:**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES AND LOCAL AUTHORITIES.
- SEE SHEET C200 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
- PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- SIDEWALK JOINTS TO BE APPROVED BY CONSTRUCTION MANAGER.
- ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/ GRIMP MAY MULCHED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

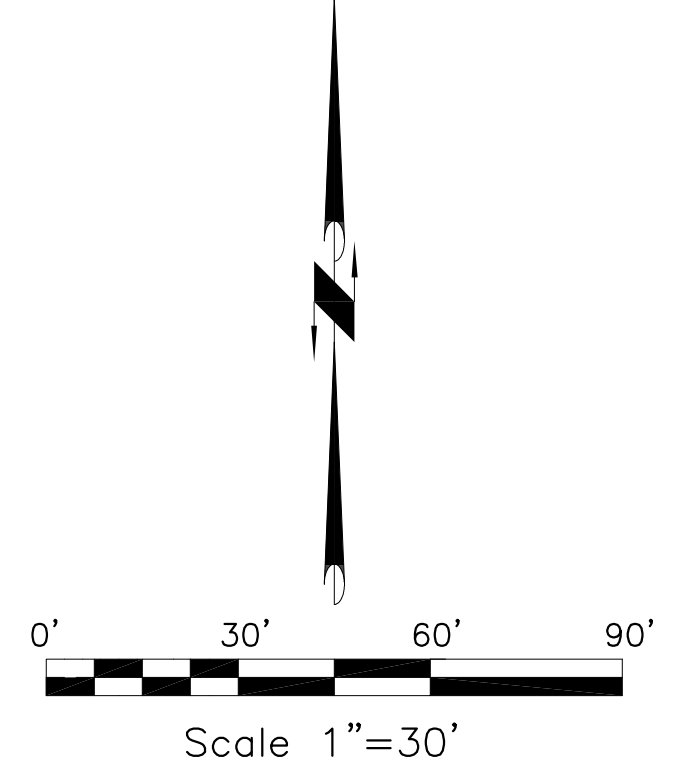
**KEYNOTES:**

- SAWCUT & REMOVE EXISTING CONCRETE WALK
- MAINTAIN EXISTING STORM PIPE/STRUCTURE
- REMOVE EXISTING STORM PIPE/STRUCTURE
- REMOVE EXISTING BITUMINOUS PAVEMENT
- MAINTAIN EXISTING PLAY EQUIPMENT
- REMOVE & SALVAGE EXISTING GATE
- 12' SERVICE GATE (CONTRACTOR MAY RE-USE EXISTING SALVAGED GATE IF APPROVED BY OWNER)
- 4' PEDESTRIAN GATE (CONTRACTOR MAY RE-USE EXISTING SALVAGED GATE IF APPROVED BY OWNER)
- REMOVE & SALVAGE EXISTING CHAIN LINK FENCE
- CHAIN LINK FENCE-TO MATCH EXISTING FENCE HEIGHT (CONTRACTOR MAY RE-USE EXISTING SALVAGED FENCE IF APPROVED BY OWNER)
- RELOCATE EXISTING ELECTRICAL LINE AS NEEDED TO INSTALL PROPOSED STORM SEWER
- PLUG EXISTING 18" STORM PIPE

**PAVEMENT HATCH PATTERNS:**



SIDEWALK

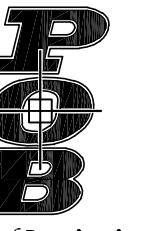






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**ABBOTSFORD ELEM./MIDDLE SCHOOL ADDITION**  
**ABBOTSFORD SCHOOL DISTRICT**

**GRADING-EROSION CONTROL-UTILITY PLAN**

Project Title:

HSR Project Number:

17060

Project Date:

JAN 2018

Drawn By:

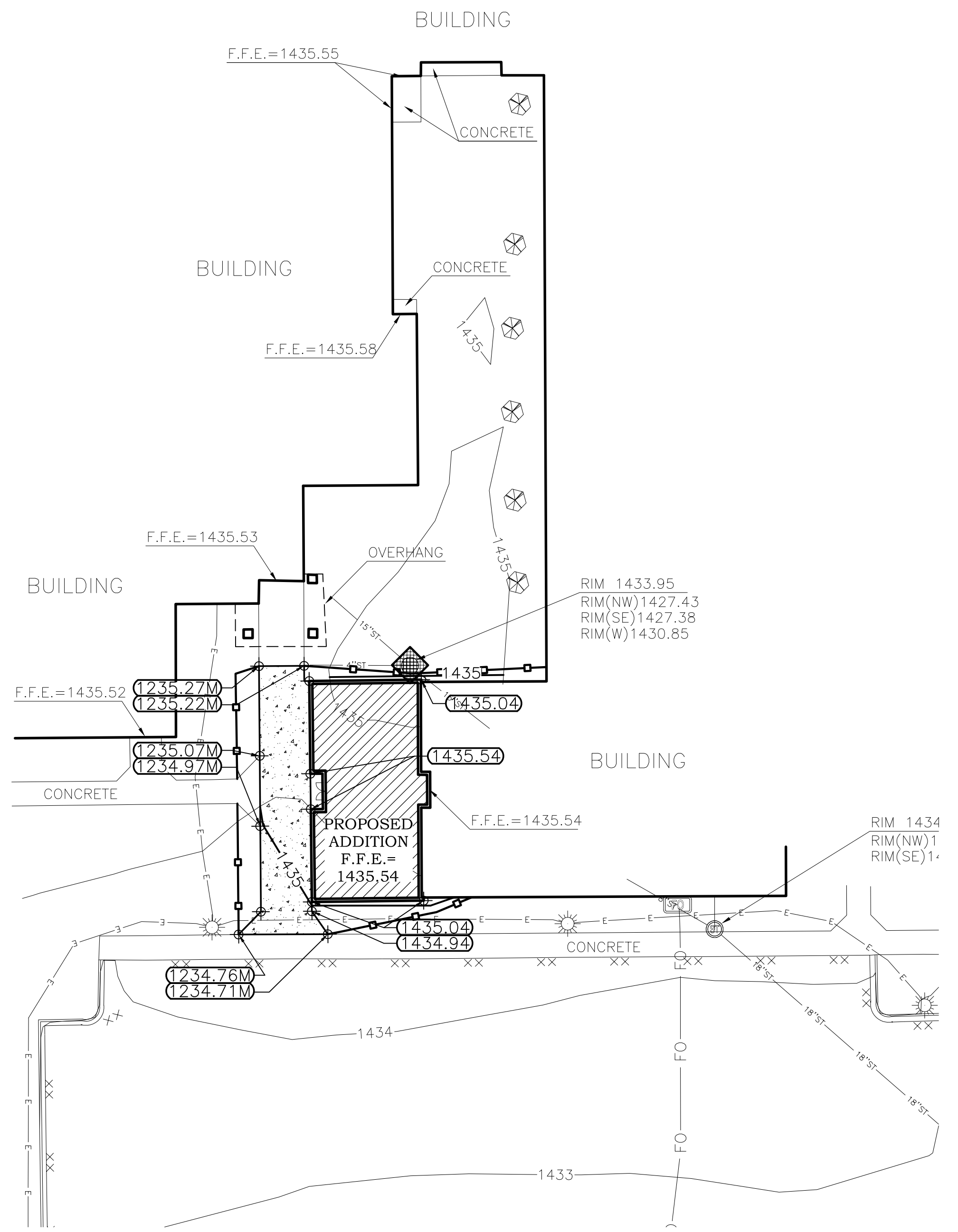
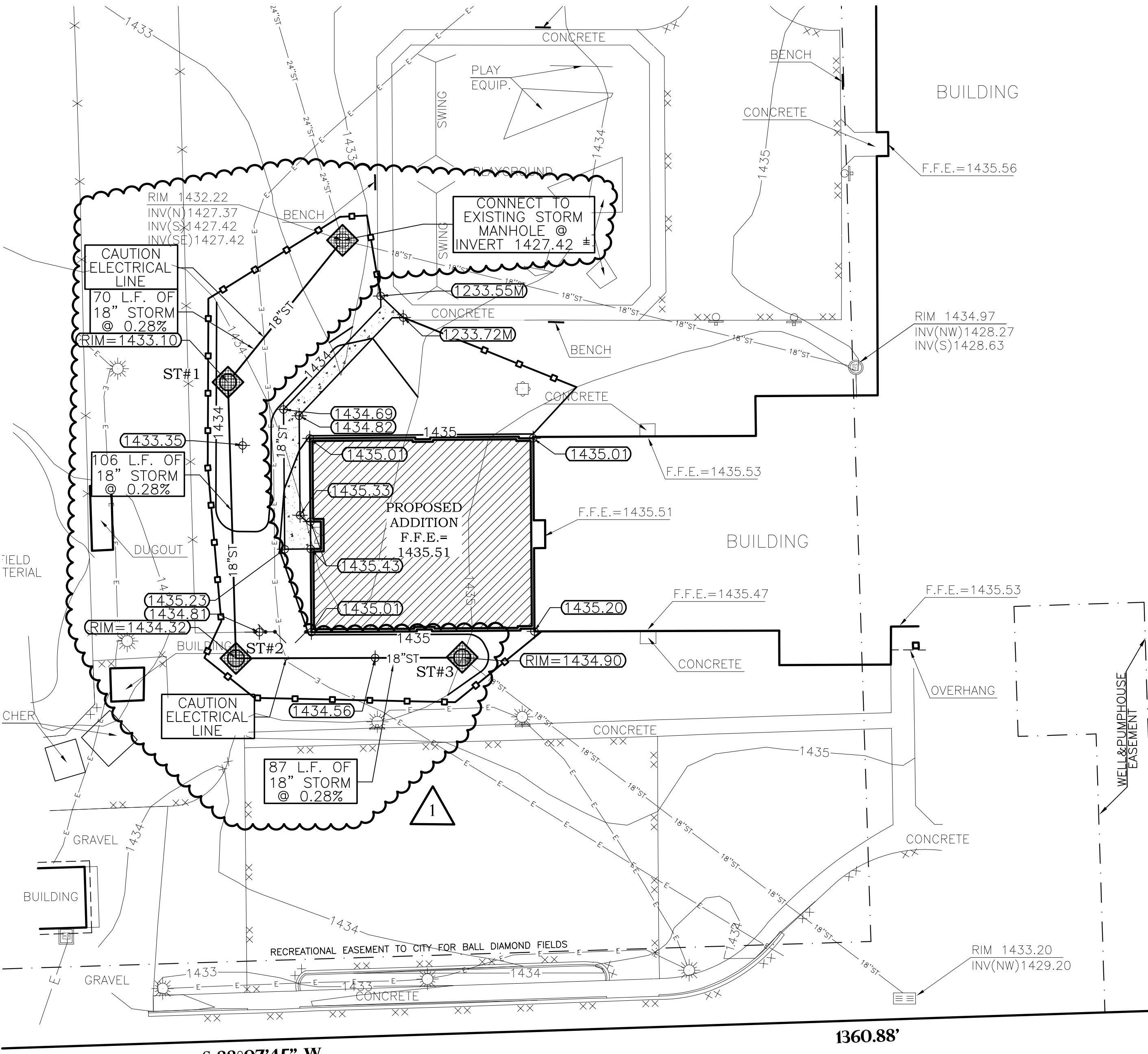
HSR

Key Plan:

Project Location:

510 W HEMLOCK ST.  
ABBOTSFORD, WI 54405

Sheet Title:



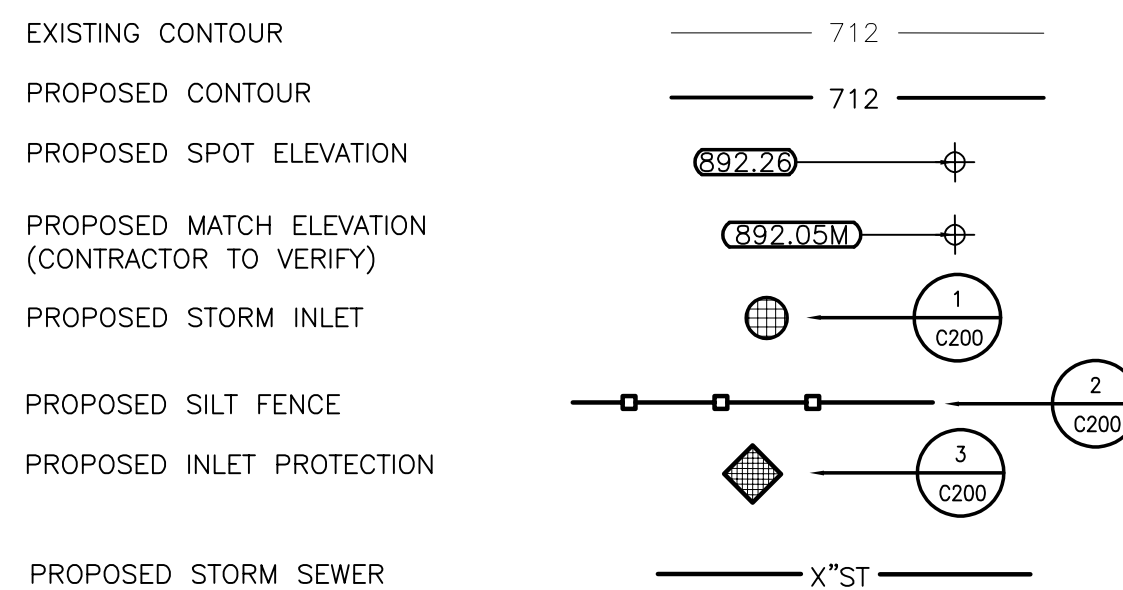
**GENERAL NOTES:**

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION EQUALS THE PROPOSED BUILDING ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES AND THE DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES, LOCAL AUTHORITIES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND IN ALL PLANTING BED AREAS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
- EXCESS TOPSOIL SHALL BE STOCKPILED AND STORED ONSITE FOR FUTURE USE, UNLESS OTHERWISE DIRECTED BY THE OWNER. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.
- NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
- INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
- WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
- INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
- ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
- IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH THE WI DNR TECHNICAL STANDARDS 1061 TO PREVENT THE DISCHARGE OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
- IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
- SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
- THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187.

**EROSION CONTROL SEQUENCING**

- INSTALL PERIMETER EROSION CONTROL.
- BEGIN DEMOLITION.
- BEGIN ROUGH GRADING AND UTILITY INSTALLATION.
- DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
- ALL DISTURBED AREAS SHALL BE STABILIZED, TEMPORARILY AND/OR PERMANENT, WITHIN 30 DAYS OF DISTURBANCE, OR PERMANENTLY STABILIZED WITHIN 7 DAYS OF ACHIEVING FINISHED GRADE.
- TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN LAND DISTURBING ACTIVITIES CEASE AND FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE.
- IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.

**LEGEND:**

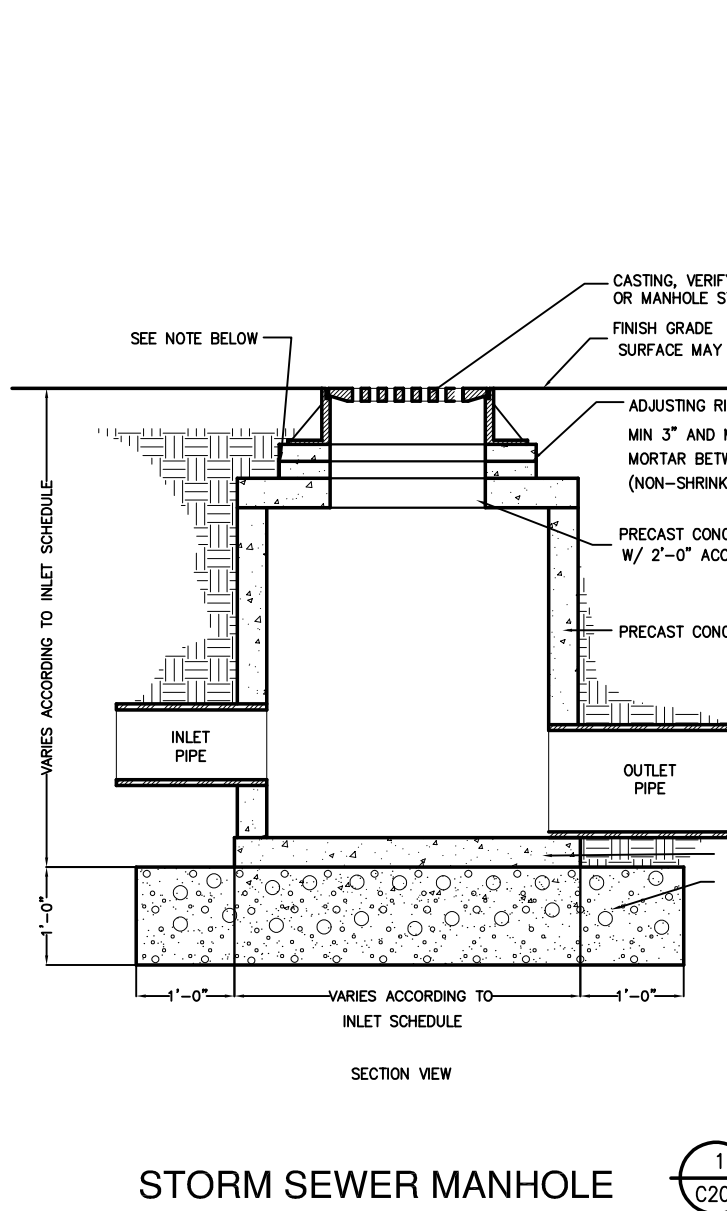


**STORM MANHOLE SCHEDULE:**

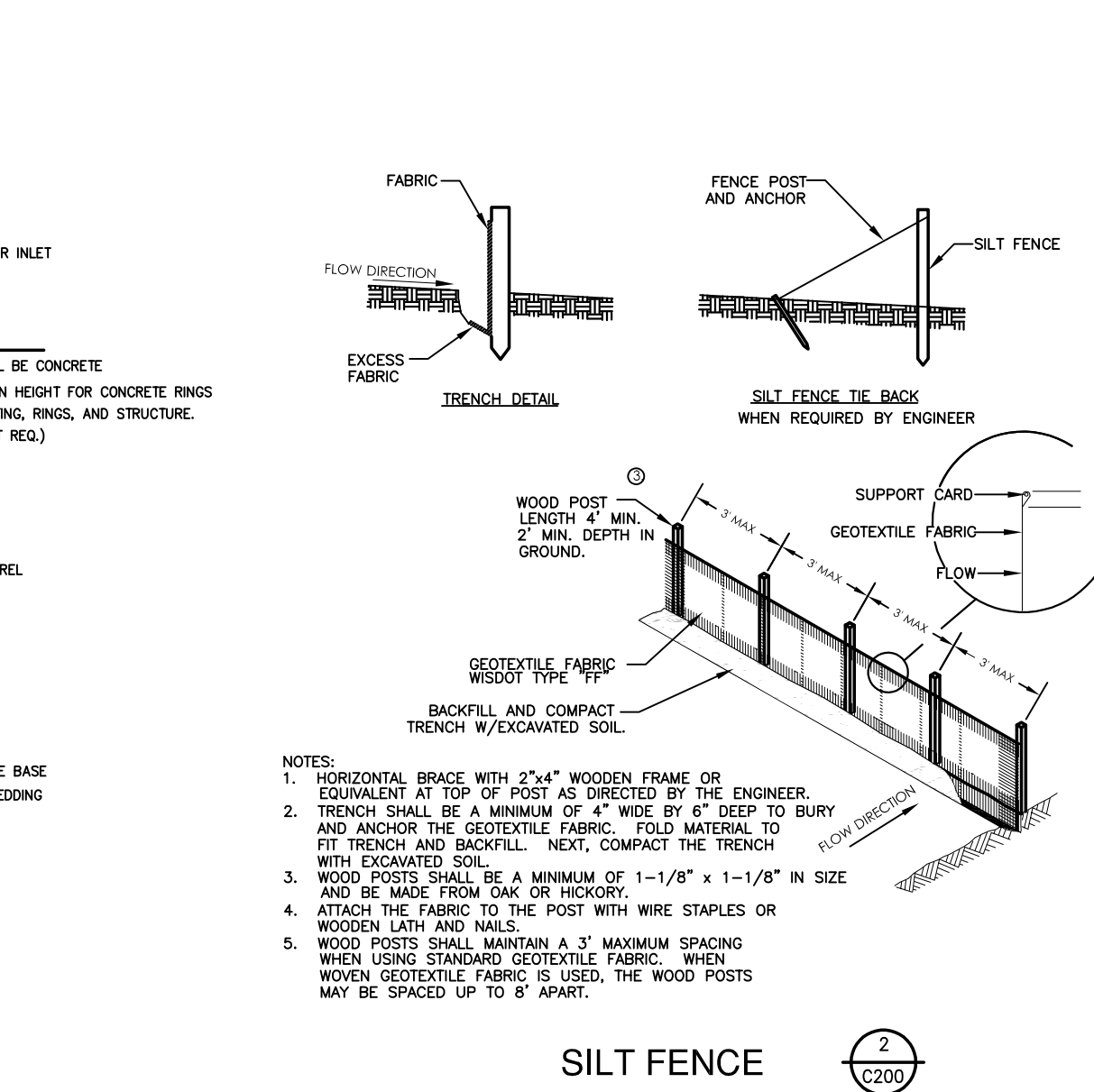
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RIM 1433.10	RIM 1434.32
INV. NE 1427.62	INV. N 1427.92
INV. S 1427.62	INV. E 1427.92
DEPTH 5.48	DEPTH 6.40
48" I.D. PRECAST MANHOLE	48" I.D. PRECAST MANHOLE
W/NEENAH R-2560-EA CASTING	W/NEENAH R-2560-EA CASTING
W/BEEHIVE GRATE	W/BEEHIVE GRATE

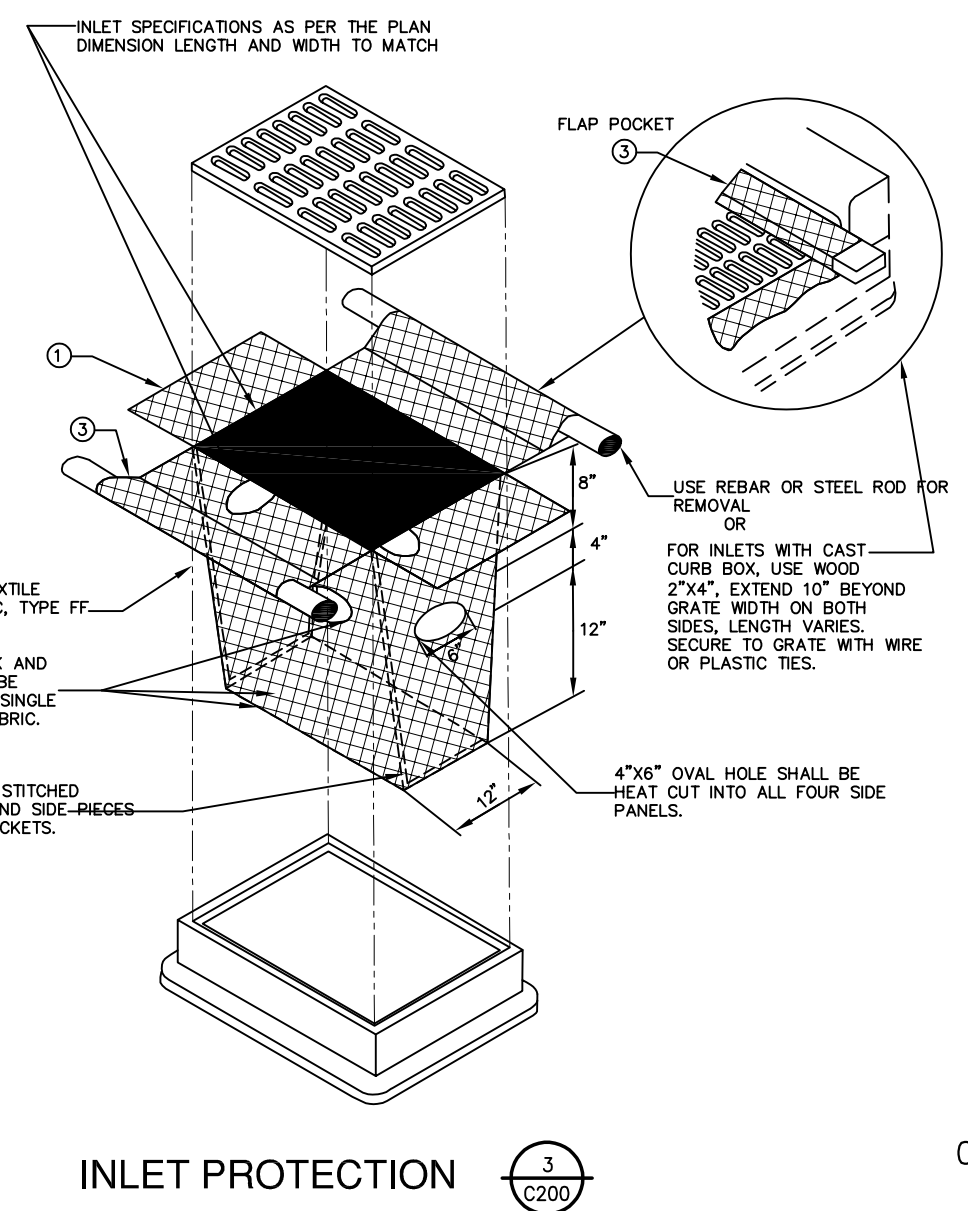
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RIM 1434.90
INV. SE 1428.16
INV. W 1428.16
DEPTH 6.74
48" I.D. PRECAST MANHOLE
W/NEENAH R-2560-EA CASTING
W/BEEHIVE GRATE



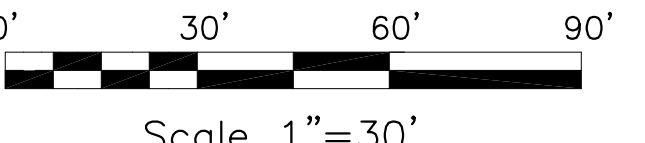
STORM SEWER MANHOLE



SILT FENCE



INLET PROTECTION



Scale 1"=30'

Revisions:

No.	Description	Date
1	Addendum #2	1/18/2018

Graphic Scale:  
1"=30'

Last Update:

**C200R**

No.	Description	Date
A2	ADDENDUM #2	1/19/18

Graphic Scale: VARIES

Last Update: 1/19/2018 10:16:15 AM

**FLOOR PLAN GENERAL NOTES:**

- SEE ID SHEETS FOR FLOOR AND WALL FINISH LAYOUTS.
- LOOSE FURNISHINGS EXCEPT AS NOTED SHALL BE PROVIDED AND INSTALLED BY THE OWNER.
- VERIFY EXACT SIZE AND LOCATION OF ALL MECHANICAL / PLUMB AND ELEC. OPENINGS - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH AT ALL VISIBLE AREAS. ALL OPENING SHALL BE SEALED AFTER UTILITY INSTALLATION.
- PAINT ALL EXPOSED STEEL LINTELS.
- INSTALL BULLNOSE CMU AT ALL OUTSIDE CORNERS W/O TILE AND AT DOOR JAMBS AS DETAIL. NO BULLNOSE AT WINDOW JAMBS.
- SEE STRUCTURAL FOR SLAB CONTROL JOINTS.
- SEE A200 FOR WALL CONTROL JOINT DETAILS. SEE PLANS AND ELEVATIONS FOR BEJ LOCATIONS. BEJ = BRICK EXPOSED JOINTS
- REFER TO OVERALL PLANS FOR FIRE RATING LOCATIONS AND ACCESSIBILITY ROUTES.
- ALL INTERIOR PARTITIONS TO EXTEND TO BOTTOM OF DECK UNLESS OTHERWISE NOTED. CLOSE DECK FLUTES AT TOP OF WALL WITH NEOPRENE FILLER OR FIRESTOPPING SYSTEM.
- SEE A300 FOR TYPICAL HEAD FLASHING AND THROUGH-WALL FLASHING ISOMETRIC DETAILS.
- GEN. CONTRACTOR TO PROVIDE CONC. EQUIP. PADS/CURBS AS REQUIRED FOR MECHANICAL EQUIP. - VERIFY SIZE/PROFILE/LOCATION WITH MECHANICAL.
- REMOVAL / INFILL OF EXISTING CMU WALLS TO BE "TOOTHED" IN TO MATCH ADJACENT BOND PATTERN - TYPICAL.
- COORDINATE NEW / REMOVAL / PATCHING WITH SITE, MECH. ELEC AND PLUMBING DRAWINGS.
- COORDINATE POWER, COMMUNICATIONS, WATER, HEATING AND AIR CONDITIONING INTERRUPTIONS WITH OWNER.

**LEGEND:**

- (A) SYMBOL INDICATES WALL TYPE - SEE SHEET A600 FOR WALL TYPE DETAILS.
- (A) SYMBOL INDICATES WINDOW TYPE. SEE SHEET A600 FOR WINDOW FRAME ELEVATIONS.
- (A) SYMBOL INDICATES CONSTRUCTION NOTE THIS SHEET
- 1 HOUR WALL
- 2 HOUR WALL
- - - REMOVE ITEMS NOTED WITH DASHED LINES
- - - REMOVE DOOR
- FEC FULLY RECESSED FIRE EXTINGUISHER CABINET

**RCP GENERAL NOTES:**

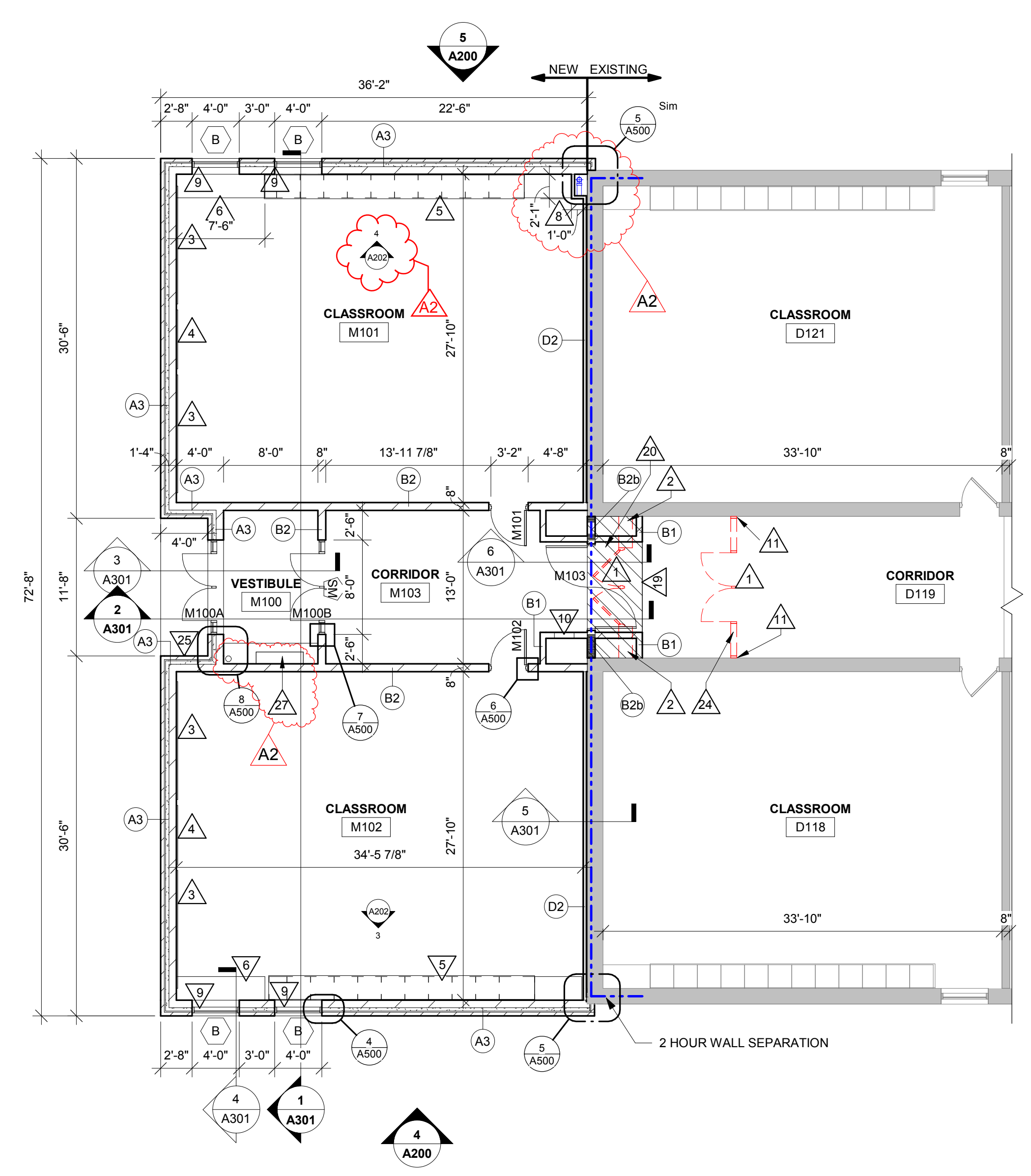
- REFER TO MECHANICAL AND PLUMBING CEILING ACCESS PANEL LOCATIONS & SIZES.
- SEE MECHANICAL FOR CEILING GRILLE INFORMATION
- SEE ELECTRICAL FOR LIGHTING TYPES
- ALL INTERIOR PARTITIONS TO EXTEND TO BOTTOM OF DECK UNLESS OTHERWISE NOTED. CLOSE DECK FLUTES AT TOP OF WALL WITH NEOPRENE FILLER OR FIRESTOPPING SYSTEM.
- ALL REMAINING ANNULAR SPACE AROUND ITEMS PENETRATING WALLS SHALL BE NEATLY SEALED. PENETRATIONS OF FIRE RATED WALLS SHALL BE FIRESTOPPED TO MEET WALL RATING.
- ALL EXTERIOR EXPOSED STEEL LINTELS/HEADERS SHALL BE GALVANIZED, PRIMED AND PAINTED UNLESS NOTED OTHERWISE.
- REFER TO INTERIOR DESIGN SHEETS FOR OTHER FINISHES
- HANGERS AND SUPPORTS, MECHANICAL, PLUMBING, ELECTRICAL AND OTHER CABLING CONTRACTORS SHALL NOT HANG OR SUPPORT THE WORK FROM THE ROOF DECK IN ANY FASHION. CONDUIT RUNS SHALL NOT BE LAID ON ROOF DECK NOR LAID ON THE STRUCTURAL SUPPORT THAT SUPPORTS THE ROOF DECK. NO FASTENERS SHALL PENETRATE ROOF DECK BY ANY TRADE OTHER THAN THE ROOFING CONTRACTOR FOR THE NEW ROOF SYSTEM.
- CONFIRM EXACT LOCATION OF OVERHEAD PROJECTORS AND OTHER CEILING MOUNTED EQUIPMENT WITH OWNER / MANUFACTURER PRIOR TO INSTALLATION
- CEILING TYPES INSTALLED AS NOTED ON PLANS. SEE SPECIFICATIONS FOR ADDITIONAL SYSTEM INFORMATION. ACT-1+SQUARE EDGE

**LEGEND:**

- LIGHT FIXTURE - SEE ELECTRICAL
- LIGHT FIXTURE - SEE ELECTRICAL
- LIGHT FIXTURE - SEE ELECTRICAL
- ⊕ LIGHT FIXTURE - SEE ELECTRICAL
- ⊖ LIGHT FIXTURE - SEE ELECTRICAL
- SPEAKER - SEE ELECTRICAL

**KEY NOTES PLAN**

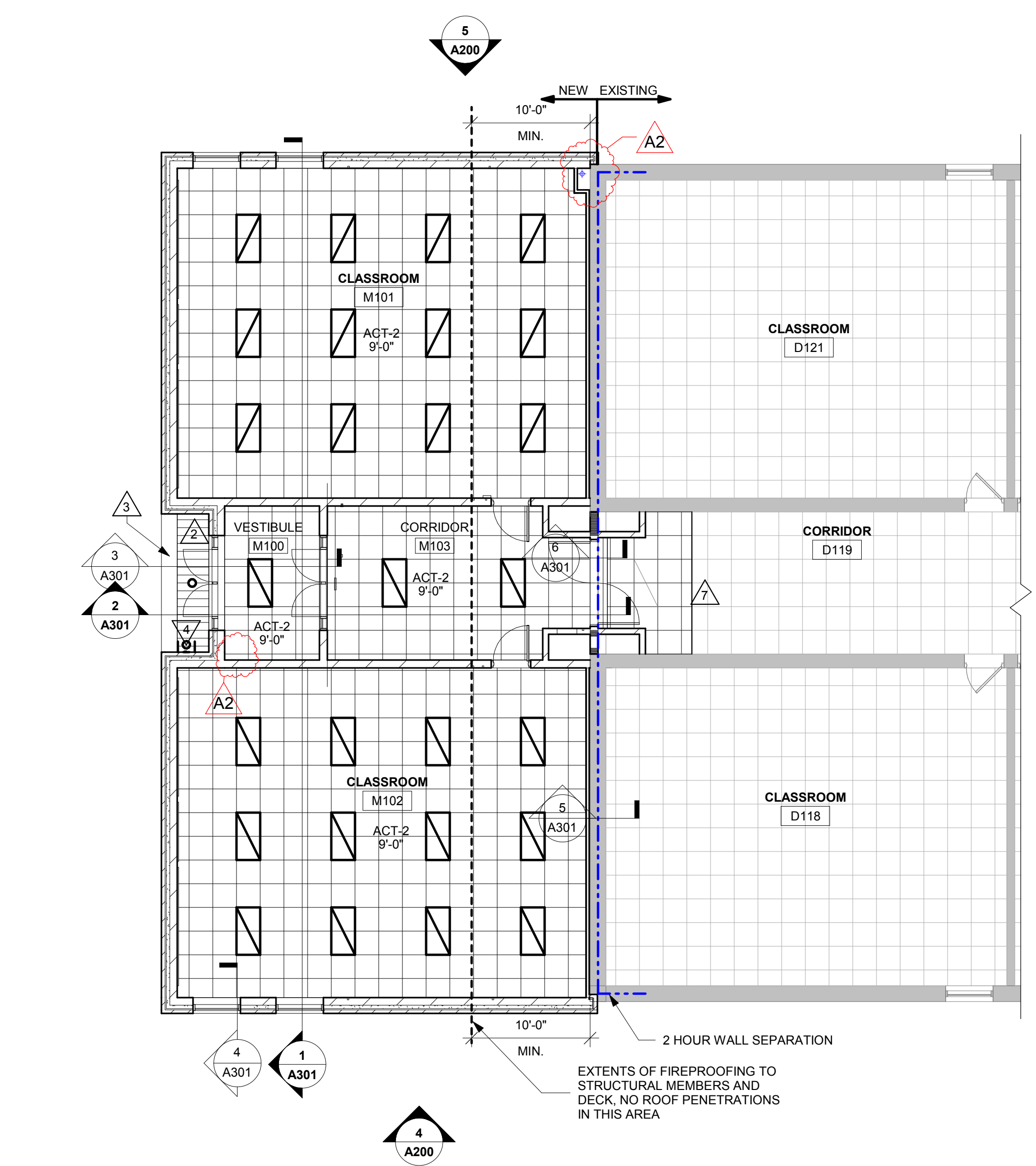
- REMOVE HOLLOW METAL FRAME AND DOOR
- REMOVE CAVITY WALL DOWN TO FOUNDATION
- MARKER BOARD 120"W X 48"H MOUNT TOP AT 7'0" A.F.F.
- SMART BOARD (N.I.C.) COORDINATE LOCATION OF POWER AND DATA WITH OWNER/ELECTRICAL
- P-LAM COUNTERTOP AND CASEWORK SEE ELEVATIONS
- UNIT VENT. SEE MECHANICAL
- PATCH EXISTING GYPSUM WALL TO MATCH EXISTING ADJACENT WALL FINISH
- RAIN LEADER - SEE PLUMBING
- WINDOW SHADE
- ELECTRICAL PANEL - SEE ELEC
- REMOVE SEALANT AND PATCH WALL AT JAMB TO MATCH EXISTING ADJACENT FINISH
- REMOVE 4" CONC. SLAB FOR NEW PLUMBING CONNECTION VERIFY EXACT LOCATION W/ PLUMBING. PATCH FLOOR WITH 4" CONC. AND REBAR DOWELED INTO EXISTING SLAB 2'-0" O.C. MATCH ADJACENT EXISTING FLOOR FINISH
- SALVAGE SOWD DOOR AND HM FRAME FOR REUSE @ E100B
- SALVAGE ALUM. DOOR AND FRAME FOR REUSE @ E100A
- REINSTALL SALVAGED SOWD DOOR AND HM FRAME
- REINSTALL SALVAGED ALUM. DOOR AND FRAME
- PLUMBING SUMP/LIFT - SEE PLUMBING
- REMOVE EXISTING CERAMIC TILE FROM VESTIBULE AND PREP SUBSTRATE FOR NEW FLOOR FINISH - SEE ID SHEETS
- EXTENTS OF NEW 4" CONC. SLAB
- REMOVE EXISTING STOOD SLAB AND FOUNDATION TO BELOW NEW CONCRETE SLAB
- NO SOUND SEAL REQUIRED (EXTENTS)
- CAB HEATER TO BE SALVAGED FOR REINSTALLATION AT ROOM E100
- REINSTALL SALVAGED CAB HEATER (PAINT) - SEE MECHANICAL
- WALL TO REMAIN AS TEMPORARY WALL WHILE SCHOOL IS IN SESSION. IF WALL IS REMOVED PROVIDE TEMPORARY PARTITION. MAINTAIN EXITING REQUIREMENTS DURING CONSTRUCTION PROCESS
- CARD READER ACCESS - SEE ELECTRICAL
- REMOVE GYP AND METAL STUD WALL
- NEW SURFACE MOUNT CAB HEATER - SEE MECHANICAL



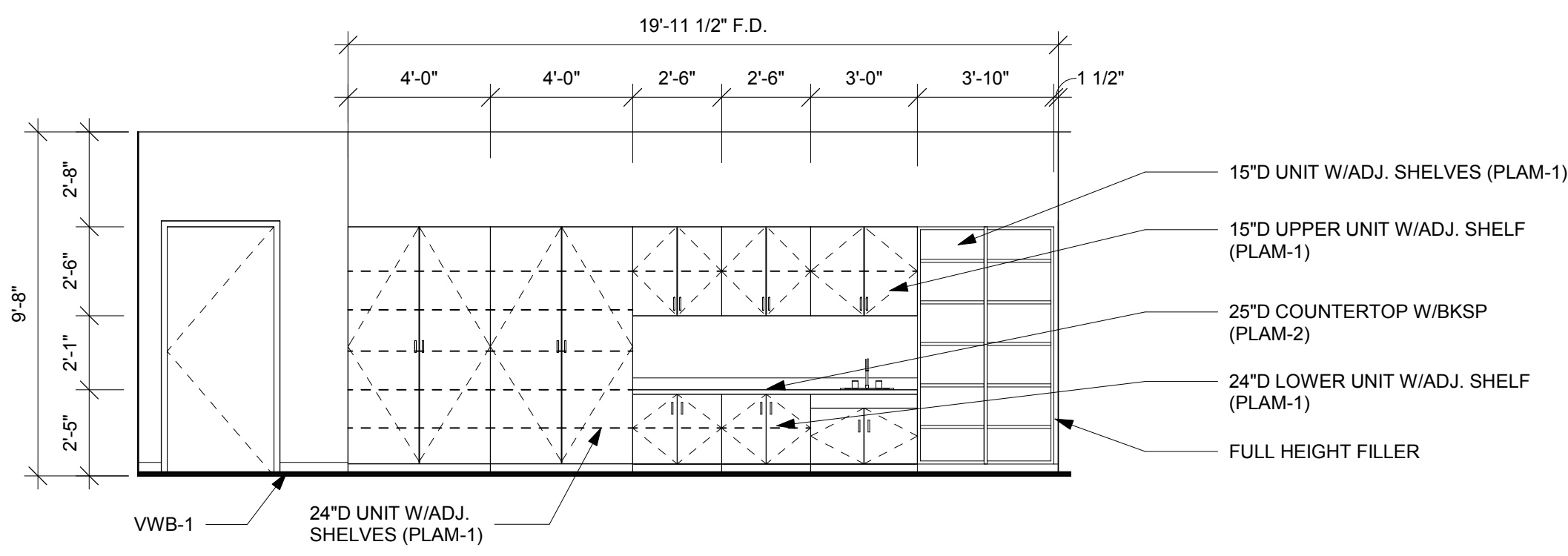
**1 MIDDLE SCHOOL FLOOR PLAN**  
1/8" = 1'-0"

**KEY NOTES RCP**

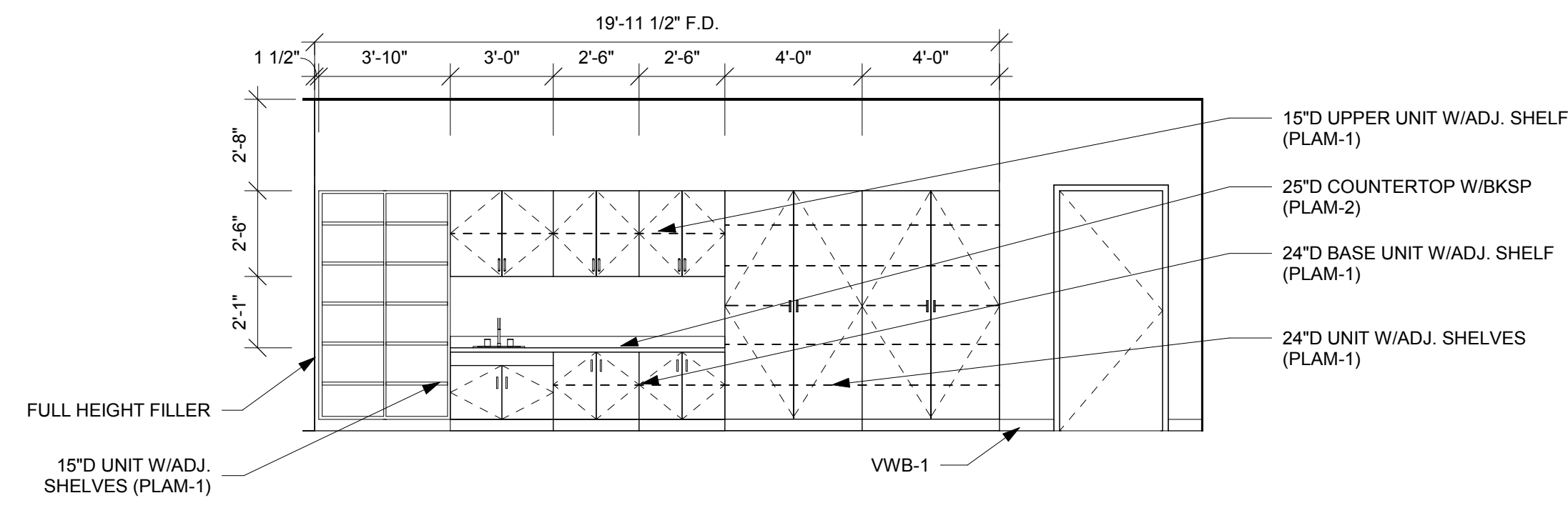
- WINDOW AWNING
- PRE-FINISHED METAL SOFFIT PANELS
- STEEL LINTEL - SEE STRUCTURAL. PAINT TO MATCH SOFFIT
- EXTERIOR LIGHTING - SEE ELECTRICAL
- METAL CEILING TRANSITION
- LIGHTING FIXTURE - SEE ELECTRICAL
- PATCH EXISTING CEILING FOR GRID AND TILE ALIGNMENT



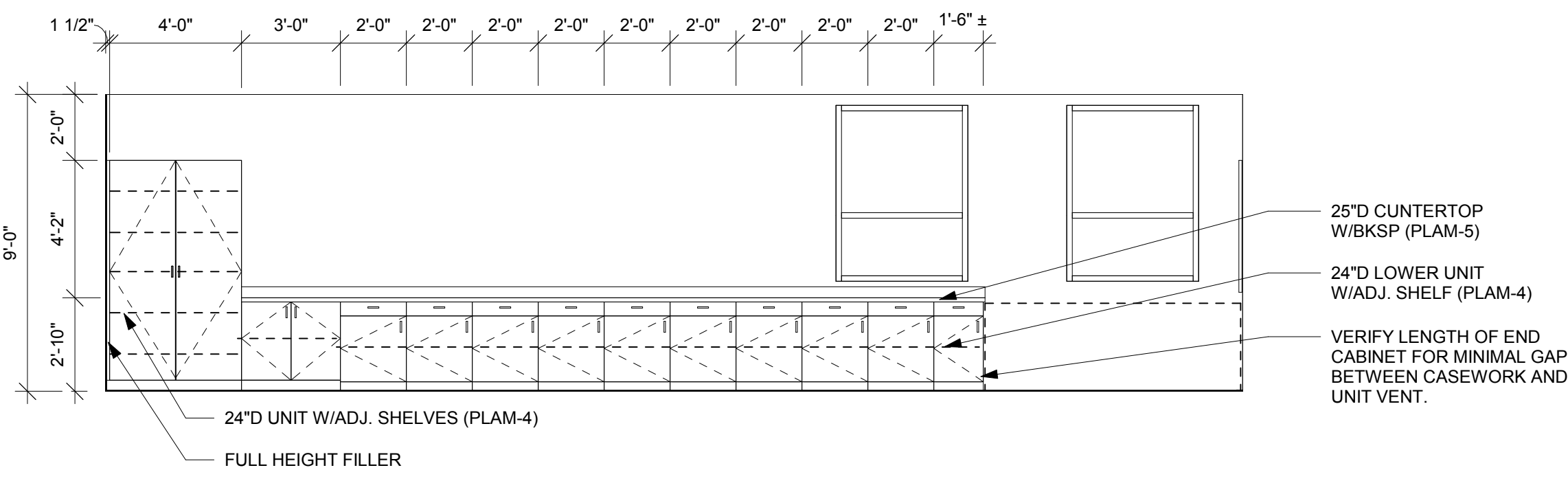
**2 MIDDLE SCHOOL RCP**  
1/8" = 1'-0"



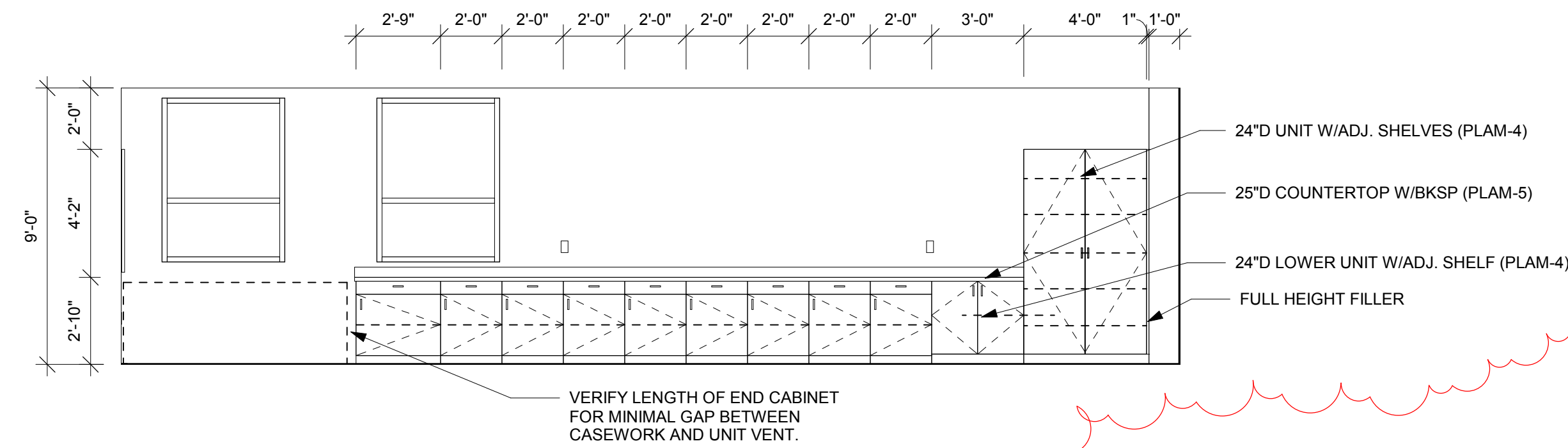
**1** ELEM CSWK ELEV.  
1/4" = 1'-0"



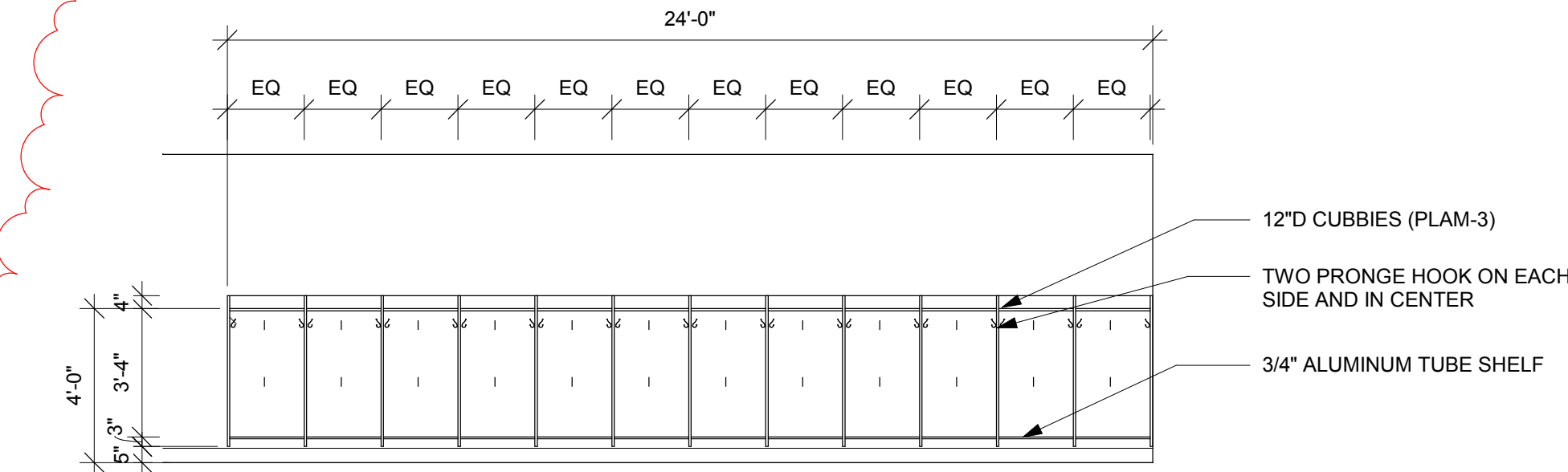
**2** ELEM CSWK ELEV.  
1/4" = 1'-0"



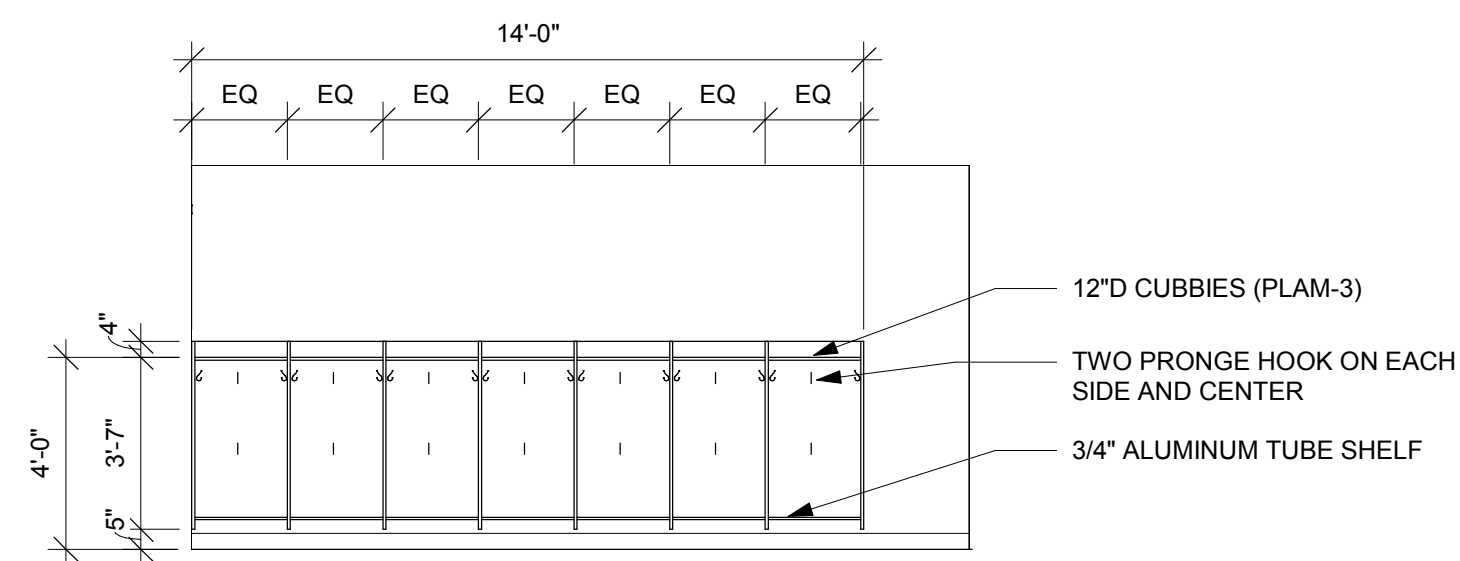
**3** MS CSWK ELEV.  
1/4" = 1'-0"



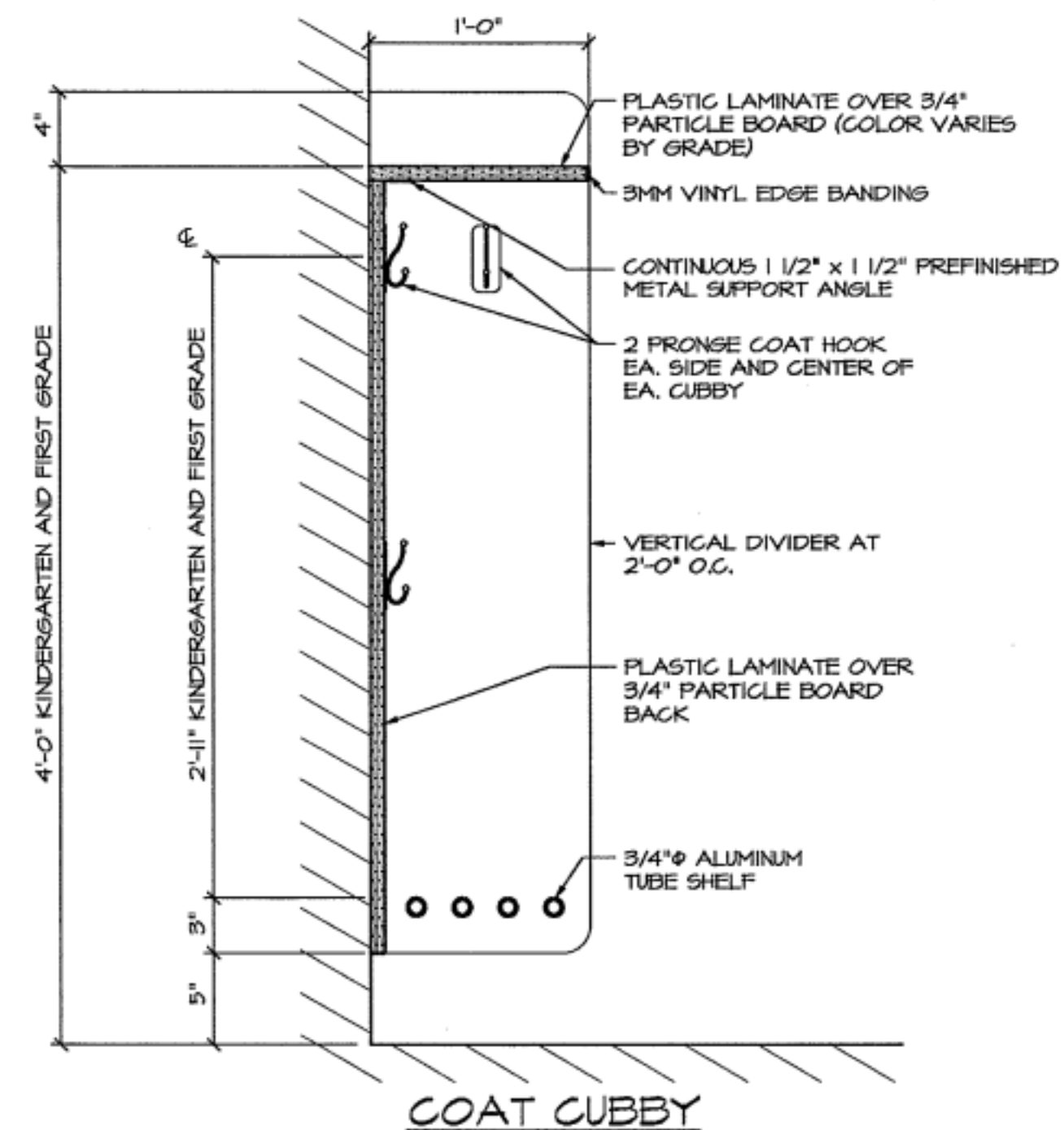
**4** MS CSWK ELEV.  
1/4" = 1'-0"



**5** ELEM. HALL CUBBIES  
1/4" = 1'-0"



**6** ELEM. HALL CUBBIES  
1/4" = 1'-0"



**7** CUBBY SECTION  
NTS

**CASEWORK GENERAL NOTES:**

- A. ALL CABINETS TO BE LOCKABLE.
- B. PROVIDE FINISHED END PANELS AT ALL KNEE SPACE, ALCOVES, AND EXPOSED CABINETS ENDS.
- C. CASEWORK MANUFACTURER TOO FIELD VERIFY ALL CASEWORK, DIMENSIONS, & CONDITIONS PRIOR TO FABRICATION OF CASEWORK.
- D. INSTALL 1-1/2" WOOD BLOCKING BETWEEN STUDS FOR CASEWORK MOUNTING AT TOP AND BOTTOM OF ALL WALL CABINETS AND AT TOP OF ALL BASE CABINETS.
- E. ALL BASE CABINET KICKS, ALCOVES, KNEE SPACES, AND END PANELS TO RECEIVE BASE UNLESS OTHERWISE NOTED. SEE MASTER COLOR SCHEDULE FOR SIZES AND COLOR.
- F. TYPICAL FINISH AT ALL HARDWARE, WIRE PULLS, HINGES, ETC. SHOULD MATCH EXISTING.
- G. SEAL EDGE OF COUNTER BACKSPLASH TO ALL WALL LOCATIONS W/ICLEAR SEALANT.
- H. REFER TO MASTER COLOR SCHEDULE ON ID600 FOR PLASTIC LAMINATE SELECTIONS.



Consultant:

HSR Project Number: 17060

Project Date: JAN 2018

Drawn By: KMV

Key Plan:

No.	Description	Date
A2	ADDENDUM #2	1/19/18

Graphic Scale: VARIES

Last Update: 1/19/2018 1:31:39 PM

**FRAMING PLAN SHEET NOTES**

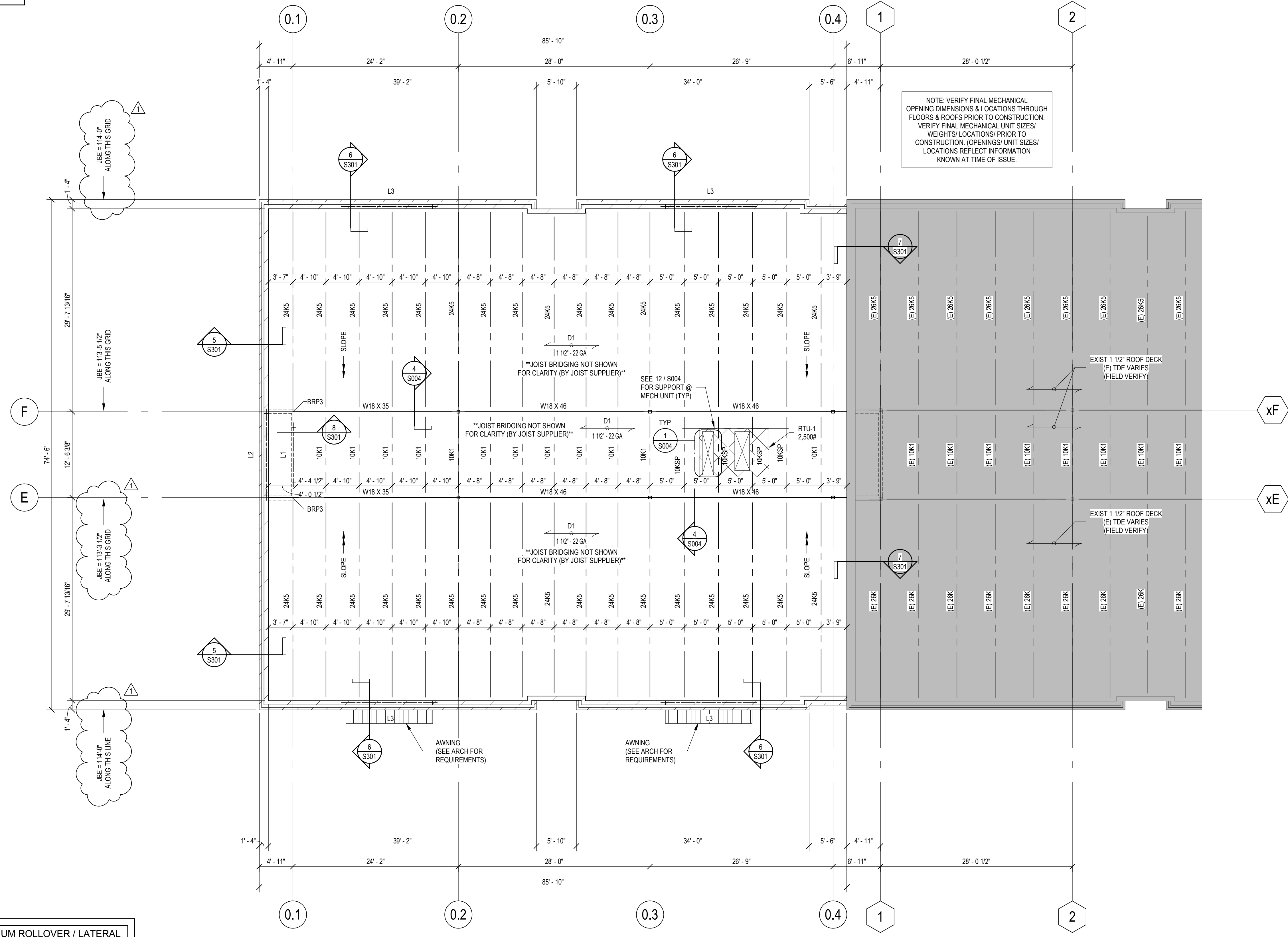
- A. General**
- See Cover Sheet for structural sheet index defining sheet name, sheet number and issue status.
  - See Cover Sheet for Structural Abbreviations, Typical Marks & Symbols and Plan Legends.
  - Review General Structural Notes and typical details in conjunction with applicable plans. See sheet index on Cover Sheet.
  - If present, coordinate the sizes and locations of tunnels, electrical calls, pits, pipes, floor drains, trenches and floor recesses with Architectural, Structural, Mechanical, Civil, and Electrical drawings.
  - Contractor shall coordinate all embedded items required for precast connections. Embedded items to be provided by precast supplier and installed by concrete contractor.
  - Dimensions shown with +/- indicate dimensions that have been rounded to the nearest 1/16 of an inch.
- B. Steel Columns**
- \*"SC-" denotes steel column. See column schedule for size, base plate and anchor bolt information.
  - All steel columns shall be centered on grid intersections unless dimensioned otherwise on plan.
  - Steel columns, base plates, and anchor bolts below grade exposed to soil shall be coated with two heavy coats of bitumastic paint.
- C. CMU Walls**
- \*"CMU-" denotes CMU wall reinforcing mark. See schedule and typical detail sheets for additional reinforcing requirements.
  - See Architectural for masonry control joint spacing. Locate control joints a minimum of 24" from the edges of all openings.
  - See Architectural drawings for non-load bearing CMU wall thickness and locations. See typical detail sheets for non-load bearing CMU details.
  - Coordinate all exterior wall finish ledge elevations for brick, stone, etc. with architectural drawings.
- D. Steel Beams**
- Top of steel is noted on plan as:
    - Top of steel beam elevation (TOS =)
    - Joist bearing elevation (JBE =)
    - Deck bearing elevation (DBE =)
 Slope structure uniformly between varying elevations.
  - Required beam end connection capacity, in kips (factored) is as shown on plan. See General Structural Notes, typical details, and any applicable sections / details.
  - See typical details for steel beam to concrete wall connections and embed requirements.
- E. Steel Joists / Joist Girders**
- Top of steel is noted on plan as:
    - Top of steel beam elevation (TOS =)
    - Joist bearing elevation (JBE =)
    - Deck bearing elevation (DBE =)
 Slope structure uniformly between varying elevations.
  - Joist seat depth shall be as indicated below, unless noted otherwise:
    - K-Series Joists = 2 1/2"
    - LM-Series Joists = 5"
    - DLH-Series Joists = 7 1/2"
  - Joist girder seat depth shall be 7 1/2" unless noted otherwise.
  - Align joist panel points within bays for installation of duct work, pipes, etc.
  - Representative joist bridging shown on plan. Joist bridging shall have size, type and spacing per SUI. Final sizes, quantities, and locations shall steel joist shop drawings.
  - Provide "X" bridging at adjacent joist spaces where typical horizontal bridging is removed for ductwork penetrations. Coordinate details with joist manufacturer.
  - Joist manufacturer shall design joists for uniform loads indicated on plans.
  - Joist manufacturer shall design joists for any additional vertical loads identified on plans, details, or notes, including but not limited to, roof top equipment, snow drifting, rain water leaders, curtains, basketball hoops, pipes, etc. Coordinate size, location and service weights with Electrical, Mechanical, Plumbing and Contractor.
  - Rooftop equipment loads shown on drawings include curb weights. Weights shall be increased by 25% to account for unbalanced loads. Loads shall be assumed to be distributed equally to supports.
  - Mechanical equipment shall be placed to bear on two joists minimum.
  - In addition to the loads indicated on the drawings, design all joists for:
    - 250 lb concentrated load acting at any top or bottom chord panel point.
    - 100 lb concentrated load acting anywhere along the bottom chord.
  - See typical details for joist seat minimum rollover forces and locations resulting from wind or seismic loading.
  - Design joists and joist girders to resist a net uplift as shown:
 

Typical:

    - 25 psf for tributary areas less than 100 SF
    - 22 psf for tributary areas more than 100 SF

Within 6'-0" of exterior perimeter:

    - 67 psf for tributary areas less than 100 SF
    - 25 psf for tributary areas more than 100 SF
  - See typical details for bracing from the bottom flange of a beam to joist top chord.
  - See typical details for required joist reinforcing where concentrated loads greater than 100 lbs are not applied at panel points.
  - See typical details for typical hanging pipe support. For conditions not covered by typical details, refer to the structural engineer for direction.
- F. Metal Roof Deck**
- "D-" denotes metal roof deck mark. See schedule for deck thickness, gage, and fastening information to supporting members.
  - Place deck perpendicular to supporting members using a 3 span condition minimum unless noted otherwise.
  - See specifications for required deck finishes.
  - Contractor shall verify all openings required. Openings shown are the only locations known to Structural at time of issue. Contractor shall coordinate any changes with the Structural Engineer of Record.
  - See typical details for additional framing at roof openings.
- H. Lintels**
- See lintel schedule for lintel types and notes.



MINIMUM ROLLOVER / LATERAL FORCES TO EACH JOIST SEAT	
LOCATIONS	UNFACTORED FORCE (V) KIPS
ALL	1.8
-	-
-	-
-	-

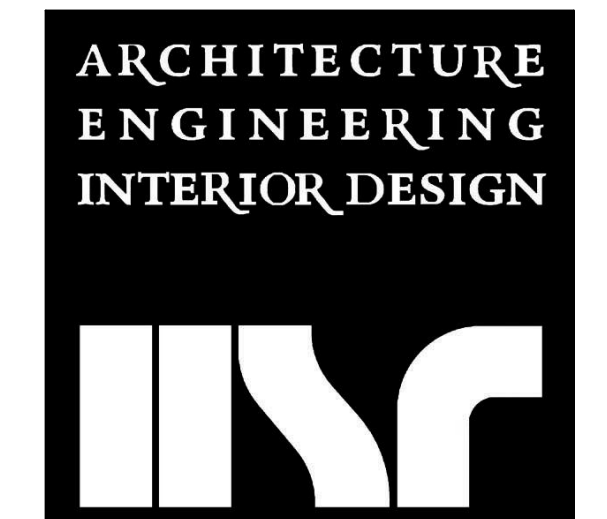
ROOF DEFLECTION CRITERIA:	
TL = L/240	
LL / SL = L/360	
BALLASTED ROOF	YES

**2 JOIST ROOF LOADING**  
12" = 1'-0"

**1 ELEMENTARY SCHOOL ROOF FRAMING PLAN**  
1/8" = 1'-0"

1. SEE S200R SERIES SHEETS FOR GENERAL STRUCTURAL NOTES, TYPICAL DETAILS, NOTES & SCHEDULES.

INFORMATION ON THIS PLAN REGARDING EXISTING STRUCTURE WAS TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS. ACTUAL FIELD CONDITION MAY VARY FROM WHAT IS SHOWN. ALL DIMENSIONS, ELEVATIONS AND CONDITIONS OF EXISTING STRUCTURE TO BE FIELD VERIFIED PRIOR TO FABRICATION.



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**ERA ERICKSEN ROED & ASSOCIATES** Structural Engineers  
3410 Oakwood Mall Drive  
Suite 300  
Eau Claire, WI 54701-2608  
715.552.5336  
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**ABBOTSFORD ELEM./ MIDDLE SCHOOL ADDITION**  
**ABBOTSFORD SCHOOL DISTRICT**  
**ELEMENTARY SCHOOL ROOF FRAMING PLAN**

Project Title:  
ERA Project Number:  
**2017-755**  
Project Date:  
**12/14/2017**  
Drawn By:  
**CS/MJT**  
Key Plan:

Project Location:  
**510 HEMLOCK ST. ABBOTSFORD, WI 54405**  
Sheet Title:

**CONSTRUCTION DOCUMENTS**

Revisions:		
No.	Description	Date
1	Addendum #2	1-19-18

Graphic Scale:  
**VARIES**  
Last Update:  
**1/19/2018 11:31:32 AM**

**S200R**



Consultant:

Project Title: **ABBOTSFORD ELEM./MIDDLE SCHOOL ADDITION  
ABBOTSFORD SCHOOL DISTRICT**  
Project Location: **510 W HEMLOCK ST.  
ABBOTSFORD, WI 54405**  
Sheet Title: **PLUMBING REMODEL PLAN**

HSR Project Number: **17060**

Project Date: **JAN 2018**

Drawn By: **RGJ/MSG**

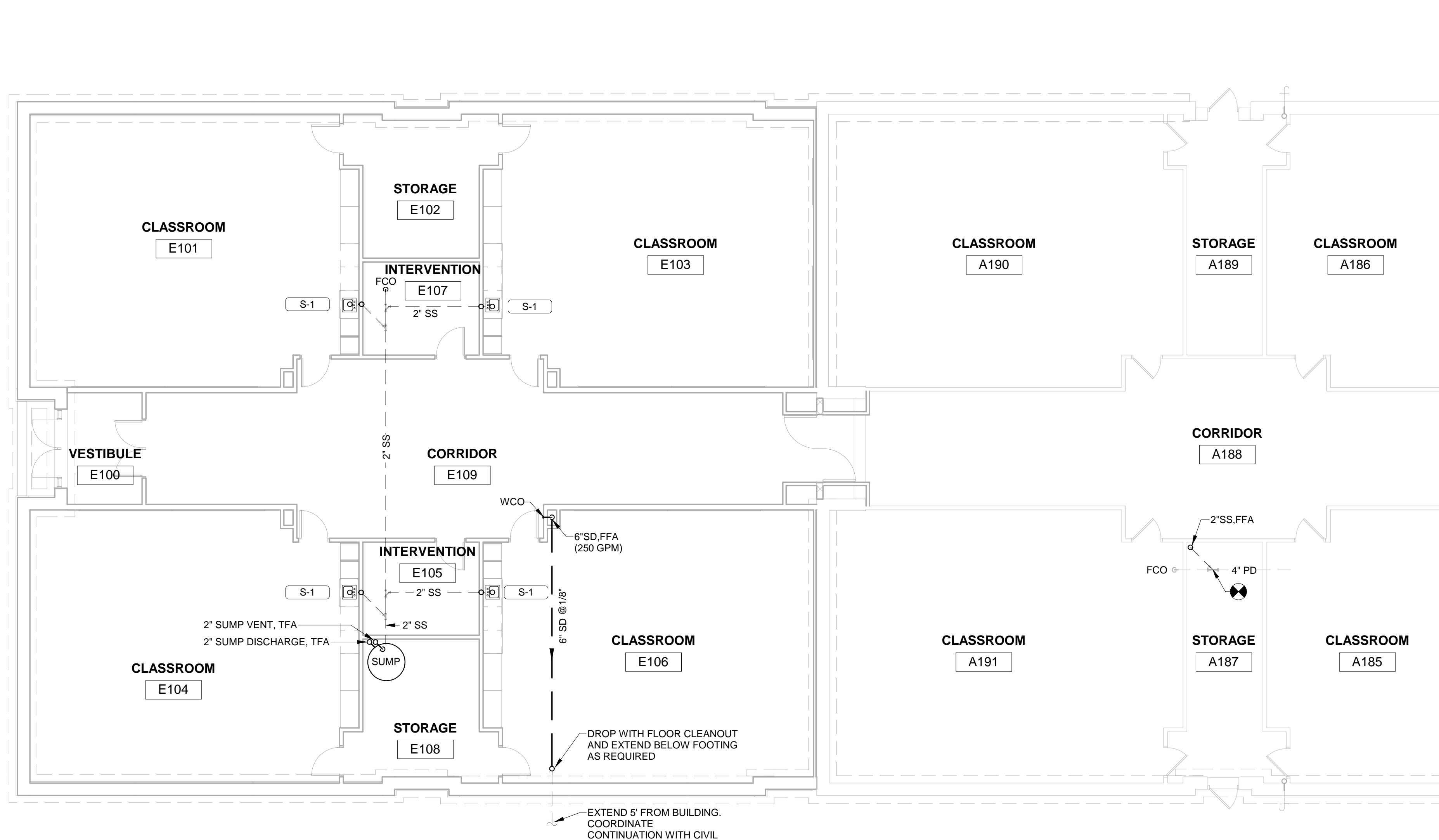
Key Plan:

No.	Description	Date
A2	Addendum #2	1/19/18

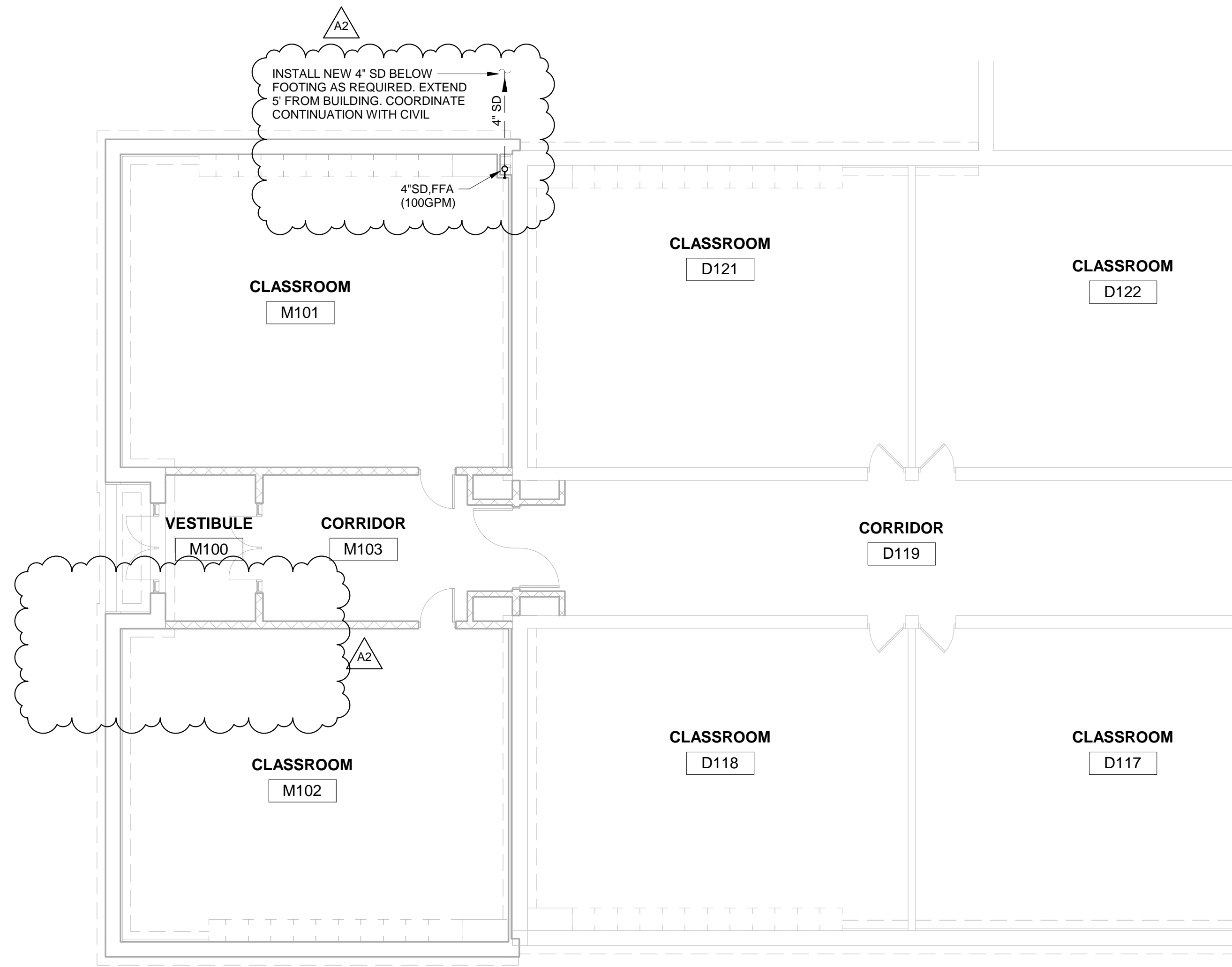
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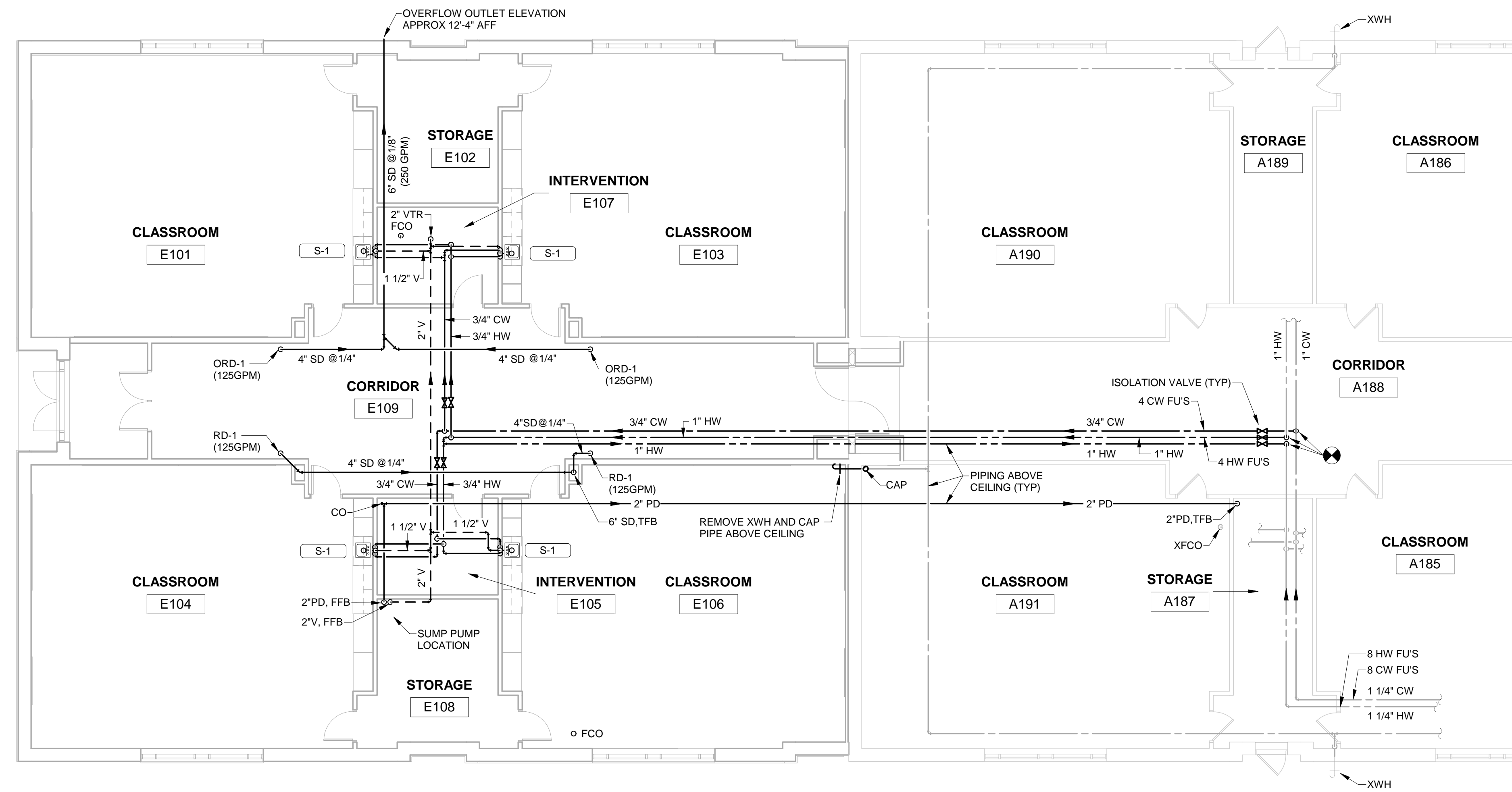
**P100R**



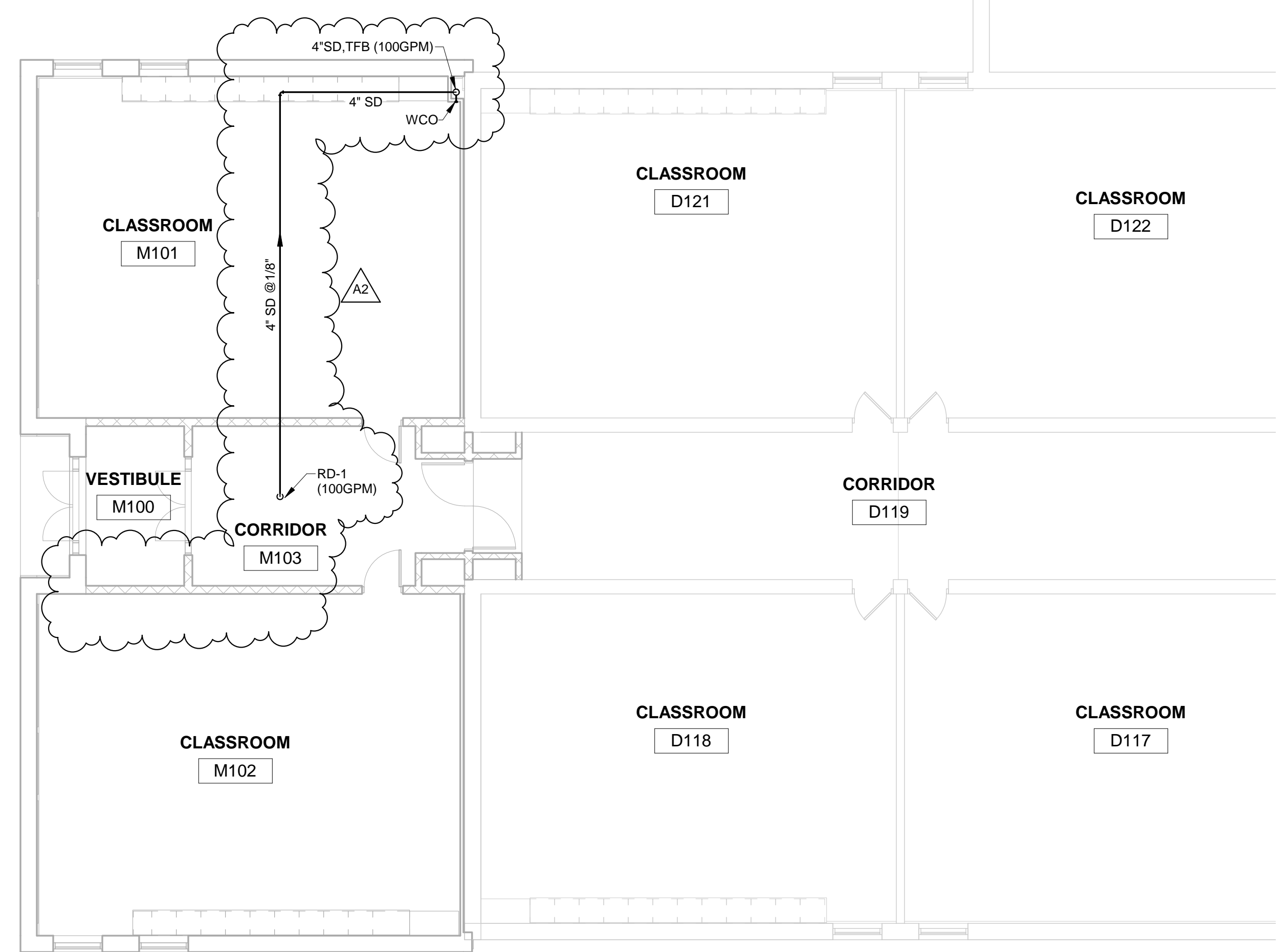
**1 ELEMENTARY UNDERFLOOR PLAN**  
1/8" = 1'-0"



**2 MIDDLE SCHOOL UNDERFLOOR PLAN**  
1/8" = 1'-0"



**3 ELEMENTARY FIRST FLOOR PLAN**  
1/8" = 1'-0"



**4 MIDDLE SCHOOL FIRST FLOOR PLAN**  
1/8" = 1'-0"